

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LAWS, REGULATIONS, AND CODES. CONTRACTOR SHALL NOTIFY STATE AND LOCAL AUTHORITIES BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- ALL LINES ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & RELATIONS TO OTHER WORK PRIOR TO FABRICATION & INSTALLATION.
- COORDINATES & WRITTEN DIMENSIONS SHALL PREVAIL. DIMENSIONS ARE TO STRUCTURAL GRID OR TO FINISH SURFACES. DO NOT SCALE DRAWINGS.
- SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS AND/OR VENDORS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS AND/OR VENDERS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES FOR SAID CONSULTANTS AND/OR VENDERS.
- THE SOILS REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE SOILS REPORT AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE STATE DIVISION OF INDUSTRIAL SAFETY.
- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY THE FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- SHOULD ANY ASPHALTIC CONCRETE REQUIRE PATCHING ADJACENT TO BUILDINGS, IT SHALL BE DONE ACCORDING TO THE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND/OR BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL), INTO THE BUILDING, FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
- ALL EXTERIOR OPENINGS SHALL COMPLY WITH CITY SECURITY ORDINANCES.
- NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, A/C DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE BY LICENSED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE AGENCY WITH JURISDICTION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SYSTEMS, INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. WORK SHOWN ON THE DRAWINGS IS INTENDED TO ILLUSTRATE THE GENERAL DESIGN INTENT, SCOPE, AND LOCATION OF WORK. ALL WORK NOT SPECIFICALLY DRAWN, BUT REQUIRED FOR A COMPLETE, LEGAL, AND FUNCTIONING SYSTEM, SHALL BE PROVIDED AS PART OF THE WORK. MECHANICAL, ELECTRICAL AND PLUMBING PERMITS ARE NOT INCLUDED IN THIS SCOPE.

SITE NOTES

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING SITE CONDITIONS, DISTANCES, AND TOPOGRAPHIC CONTOURS. SITE CONDITIONS SHOWN ARE FROM OWNER-PROVIDED INFORMATION, SURVEYS BY OTHERS, AND PUBLIC RECORDS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR EXISTING SITE INFORMATION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION BY RETAINING A UTILITY LOCATION SERVICE AND MARKING ALL UNDERGROUND UTILITY LOCATIONS. ANY UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. UTILITIES MAY BE PRESENT BUT NOT SHOWN ON THE DRAWINGS. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL COORDINATE CONNECTION LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES. RELOCATION OF UTILITIES, IF NECESSARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GEOTECHNICAL REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE GEOTECHNICAL OR SOILS REPORT(S) AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE CONTRACTOR SHALL EXECUTE AND COMPLETE ALL WORK ON ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY THAT IS REQUIRED BY CONSTRUCTION EASEMENT AGREEMENTS WITH NEIGHBORING PROPERTY OWNERS, PRIVATE CONTRACT DOCUMENTS WITH THE CITY OF MERCER ISLAND'S TRANSPORTATION, STREET USE PERMITS, OR ANY OTHER AGREEMENT OR CONTRACT. ALL IMPROVEMENTS AND REPAIRS TO SIDEWALKS, ALLEYS, STREETS AND NEIGHBORING PROPERTIES SHALL BE COORDINATED TO MINIMIZE THE IMPACT ON THE PUBLIC AND TO MAINTAIN ACCESS TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL MAKE ARRANGEMENTS AND SECURE NECESSARY PERMITS WHEN CONSTRUCTION REQUIRES STREET OR SIDEWALK CLOSURES.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- IF ANY HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD OR POLYCHLORINATED BIPHENYL (PCB), IS ENCOUNTERED ON THE SITE BY THE CONTRACTOR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.

GENERAL INFORMATION

ADDRESS: 3413 72ND PL SE MERCER ISLAND WA 98040
 PARCEL NUMBER: 130030-1360
 OWNER'S NAME: JANE ECKELS AND HANS ANDERSEN
 LEGAL DESCRIPTION: SEE SHEET A1.0

SCOPE OF WORK

REPLACEMENT OF EXISTING GARAGE (SAME FOOTPRINT), 244 SF MAIN LEVEL ADDITION, 368 SF SECOND LEVEL ADDITION, INTERIOR REMODEL PER PLANS, ADU AT EXISTING LOWER LEVEL.
 NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN IS NOT INCLUDED IN THIS SET.
 CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL PERMITS.

GOVERNING BUILDING CODES

WASHINGTON STATE AMENDMENTS TO CODES REFERENCED BELOW
 CITY OF MERCER ISLAND AMENDMENTS TO CODES REFERENCED BELOW
 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2021 INTERNATIONAL EXISTING BUILDING CODE
 2021 INTERNATIONAL FIRE CODE (IFC)
 2021 WASHINGTON STATE ENERGY CODE (WSEC-R)
 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 2021 UNIFORM PLUMBING CODE (UPC)

BUILDING CODE INFORMATION

YEAR CONSTRUCTED 1959
 OCCUPANCY GROUP R-3/U-1
 TYPE OF CONSTRUCTION VN

DWELLING/GARAGE SEPARATION WALLS NOT LESS THAN 1/2" GWB APPLIED ON GARAGE SIDE
 CEILING NOT LESS THAN 5/8" TYPE X GWB
 STRUCTURE SUPPORTING SEPARATION NOT LESS THAN 1/2" GWB

ZONING CODE INFORMATION

ZONING R8.4
 LOT AREA 7,500 SF PER KC RECORDS
 SETBACKS SEE SITE PLAN
 HEIGHT 31'-1" TO RIDGE

ENERGY CODE INFORMATION: SEE A0.3

- NOTE:
- HVAC SYSTEM FOR ADDITION SHALL BE INSTALLED PER IMC, WORK TO BE COMPLETED UNER SEPARATE PERMIT.

ENERGY EFFICIENCY:

PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN THE ADDITION PER SEC R40.13
 A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER SEC R404.11

WHOLE HOUSE VENTILATION

INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN SYSTEM PER M1505.4.4
 RUNTIME 50%
 AIRFLOW RATE 90CFM x 2 FACTOR= 180 CFM

WHOLE-HOUSE FAN LOCATED 4 FT OR LESS TO INTERIOR GRILLE SHALL HAVE A SONE RATING OF MAX 1.0. LOCATION: ADDITION LAUNDRY/DRYING ROOM

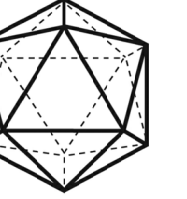
AREA	LOCAL EXHAUST RATES
KITCHEN	180 CFM INTERMITTENT (ELECTRIC), 250 FOR COMBUSTION PER M1505.4.4(1)
BATHROOM-TOILET ROOM, LAUNDRY	MECHANICAL EXHAUST CAPACITY 50 CFM INTERMITTENT

DRAWING INDEX

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NOTE:

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED. PERMIT TO BE OBTAINED BY CONTRACTOR.



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ECKELS ANDERSEN ADDITION

3413 72ND PL SE
 MERCER IS, WA 98040

PERMIT SET

DATE: MAY, 2024
 PROJECT#: 157
 SCALE: AS NOTED

50% SD 02/14/23
 100% SD 03/24/23
 PRELIM. PRICING 05/01/23
 REV 1 10/23/23
 REVISED SCOPE 12/15/23
 OPTIONS 02/02/24
 PERMIT 05/28/24
 PERMIT RESPONSE 2 11/07/24

DESIGNED: LH
 DRAWN: LH
 REVIEWED: LH

GENERAL INFORMATION

A0.0

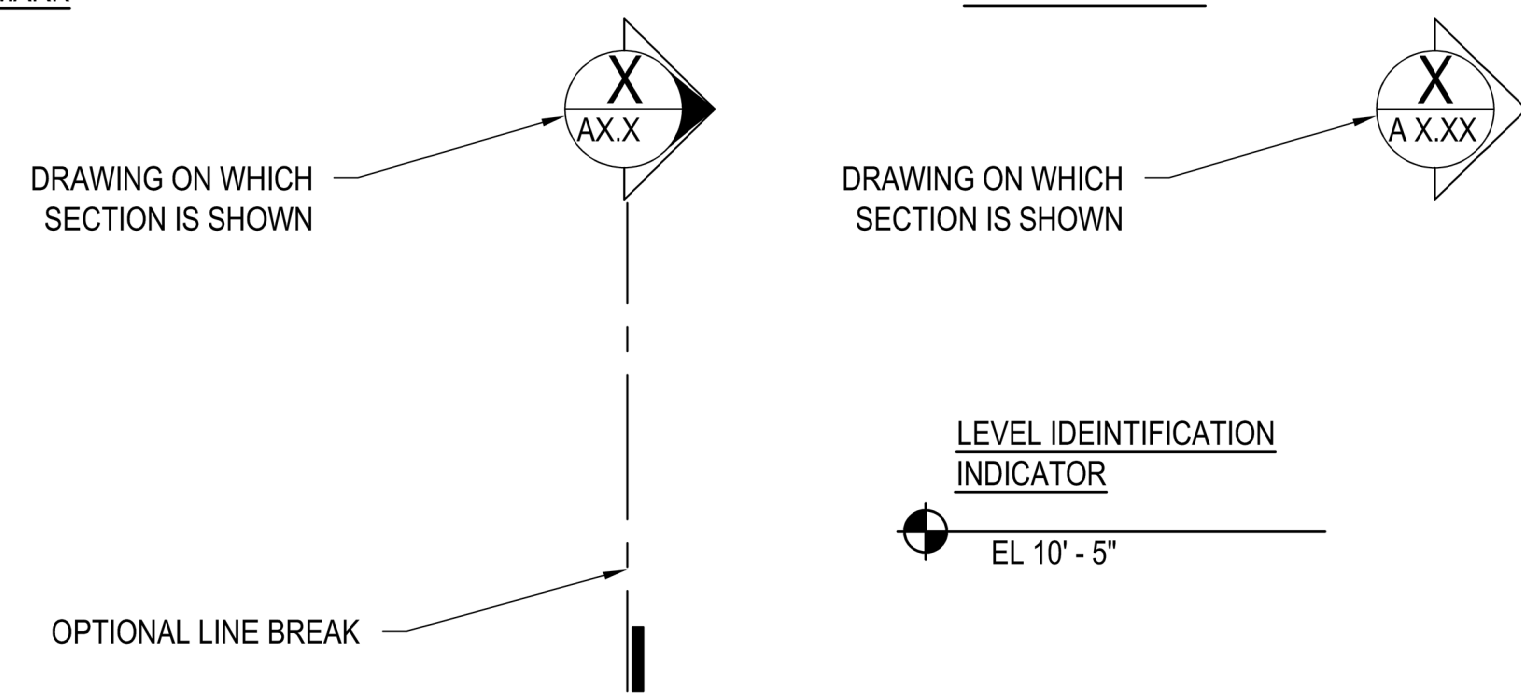
MATERIALS

	EARTH SURFACE
	SAND / GROUT
	CONCRETE
	WOOD OR METAL STUD WALLS
	GYPSUM BOARD
	CONT. WOOD FRAMING
	WOOD BLOCKING
	FINISHED WOOD
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION BOARD
	BRICK
	CONCRETE UNIT MASONRY
	STEEL
	GLASS
	RESILIENT TILES

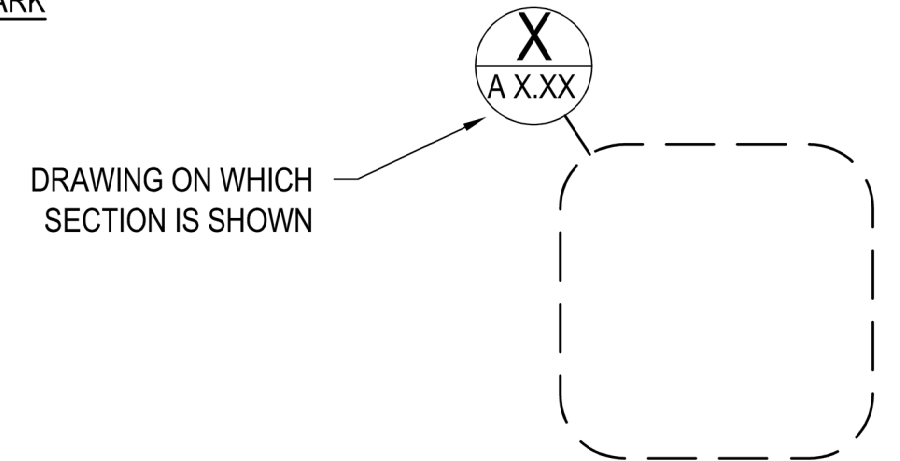
REFERENCING

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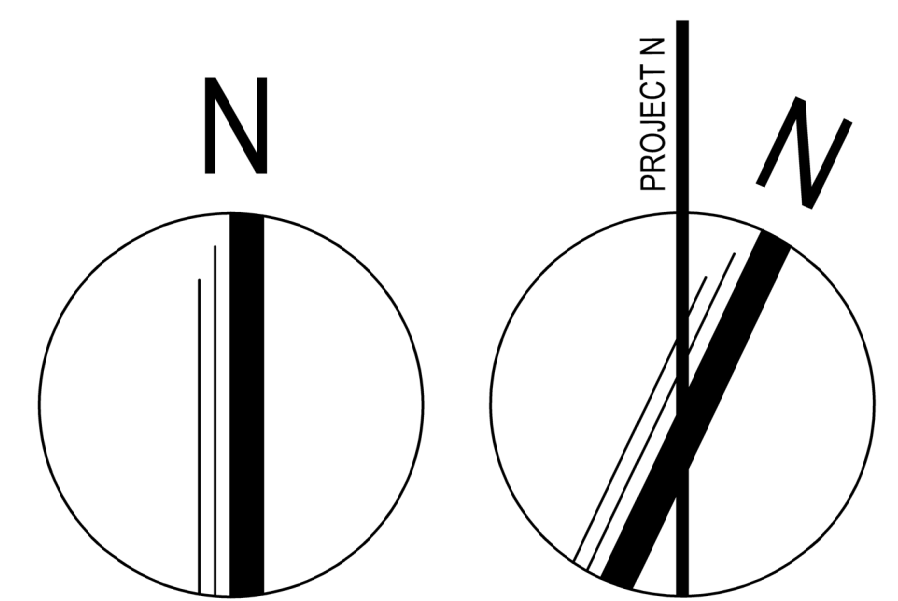
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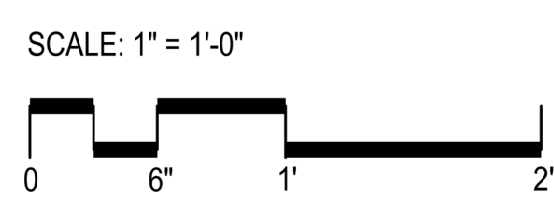
DETAIL MARK



NORTH ARROW



GRAPHIC SCALE



DIMENSIONING STANDARDS

- DO NOT SCALE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE INDICATED IN THE DOCUMENTS.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
- THE TERM "EQUAL" OR "EQ" IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE EQUAL SPACING OF ELEMENTS IS REQUIRED.
- THE TERM "CLEAR" OR "CLR" IS USED TO DENOTE A MINIMUM DIMENSIONAL REQUIREMENT. HOWEVER, THE DIMENSION COULD BE LARGER.
- WALLS CENTERED ON A COLUMN OR GRIDLINE WILL NOT BE DIMENSIONED ON PLANS BUT WILL BE DRAWN AS INDICATED BELOW.

SYMBOLS

	GRIDLINE MARK
	DOOR IDENTIFICATION MARK
	WALL TYPE MARK
	FIRE EXTINGUISHER CABINET
	KEY NOTE
	DOWN SPOUT
	REVISION CLOUD
	REVISION DELTA
	CENTER LINE
	PROPERTY LINE
	HIDDEN OR EXISTING CONSTRUCTION
	BREAK LINE

ABBREVIATIONS

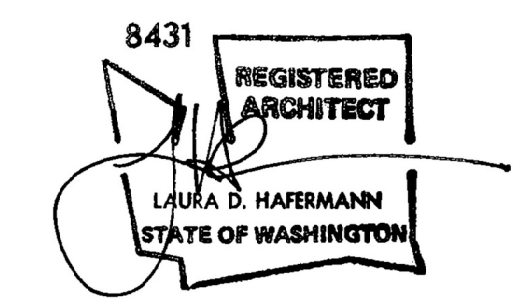
AB	ANCHOR BOLT	FLR	FLOOR	P LAM	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FLG	FLANGE	PT	PAINT
ADJC	ADJACENT	FRFP	FIREPROOF, FRAME	PREFIN	PREFINISHED
ADJ	ADJUSTABLE	FRC	FIBER REINFORCED CONCRETE	PRV	POWER ROOF VENT
AFF	ABOVE FINISH FLOOR	FSB	FOOD STORAGE BUILDING	PSF	LBS PER SQUARE FOOT
AHU	AIR HANDLING UNIT	FTG	FOOTING	PTD	PAPER TOWEL DISPENSER
ALUM	ALUMINUM	FTR	FINNED TUBE RADIATION	QT	QUARRY TILE
BD	BOARD	GA	GAGE	R	RADIUS, RISER
BFE	BOTTOM FOOTING ELEVATION	GALV	GALVANIZED	RAD	RADIATOR
BITUM	BITUMINOUS	GI	GALVANIZED IRON	RC	REINFORCED CONCRETE
BLDG	BUILDING	GC	GENERAL CONTRACTOR	RCP	REINFORCED CONCRETE PIPE
BLK	BLOCK	GL	GLASS, GLAZING	RD	ROOF DRAIN
BLKG	BLOCKING MACHINE	GND	GROUND	RECPT	RECEPTACLE
BM	BEAM	GR	GRADE	REINF	REINFORCED
BOT	BOTTOM	GRL	GRILLE	RET	RETAINING
BRG	BEARING	GRV	GRAVITY ROOF VENT	RHMS	ROUND HEAD MACHINE
BUR	BUILT-UP ROOFING	GWB	GYPSUM WALL BOARD	RHWS	ROUND HEAD WOOD
CPT	CARPET	GWT	GLAZED WALL TILE	RM	ROOM
CH BD	CHALKBOARD	GYP	GYPSUM	RO	ROUGH OPENING
CEM	CEMENT	HB	HOSE BIB	RWL	RAINWATER LEADER
CHAN	CHANNEL	HC	HANDICAPPED	SD	SOAP DISPENSER
CJ	CONSTRUCTION JOINT	HDWD	HARDWOOD	SECT	SECTION
CL	CENTER LINE	HMMS	HEX HEAD MACHINE SCREW	SFT	STRUCTURAL FACING TILE
CLG	CEILING	HM	HOLLOW METAL	SHR	SHOWER
CMU	CONCRETE MASONRY UNIT	HPT	HIGH POINT	SHT	SHEET
CMT	CERAMIC MOSAIC TILE	HNDRL	HANDRAIL	SIM	SIMILAR
CO	CLEAN OUT	HGT	HEIGHT	SMS	SHEET METAL SCREW
COL	COLUMN	HORIZ	HORIZONTAL	SND	SAN. NAPKIN DISPENSER
COMP	COMPRESSION, COMPACTED	HR	HOUR	SNR	SANITARY NAPKIN RECEPTACLE
CONC	CONCRETE	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SP	SPACE
CONT	CONTINUOUS	ID	INSIDE DIAMETER	SPEC	SPECIFICATION
CONTR	CONTRACTOR	IF	INSIDE FACE	S SK	SERVICE SINK
CONV.	CONVECTOR	INSUL	INSULATION	SST	STAINLESS STEEL
DBL	DOUBLE	INSTL	INSTALLATION	STD	STANDARD
DET	DETAIL	INT	INTERIOR	STL	STEEL
DF	DRINKING FOUNTAIN	INV	INVERT	STRUC	STRUCTURAL
DIA	DIAMETER	JAN	JANITOR	SUSP	SUSPENDED
DIM	DIMENSION	JST	JOIST SND	T	TOP, TILE, TREAD
DISP	DISPENSER	JT	JOINT SND	TEMP	TEMPORARY
DN	DOWN	LAV	LAVATORY	TERR	TERRAZZO
DO	DITTO	LP	LOWPOINT	T&G	TONGUE & GROOVE
DR	DRAIN, DOOR	MAX	MAXIMUM	TH	THRESHOLD, THICK
DWG	DRAWING	MB	MARKER BOARD	TOD	TOP OF DECK
DS	DOWNSPOUT	MECH	MECHANICAL	TOJ	TOP OF JOIST
DWL	DOWEL	MFR	MANUFACTURER	TOS	TOP OF STEEL
EA	EACH	MH	MANHOLE	TPD	TOILET PAPER DISPENSER
EPDM	ETYLENE PROPYLENE DIENE MONOMER	MIN	MINIMUM, MINUTE	TR	TROWELED, TREAD
EF	EACH FACE	MIR	MIRROR	TS	TUBULAR STEEL
EL	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRIC	MO	MASONRY OPENING	UGRD	UNDERGROUND
EQUIP	EQUIPMENT	MTL	METAL	UH	UNIT HEATER
EW	EACH WAY	MTD	MOUNTED	UNO	UNLESS NOTED OTHERWISE
EWV	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	UR	URINAL
ELVR	ELEVATOR	NS	NEAR SIDE	VERT	VERTICAL
EXH	EXHAUST	OA	OVER ALL	VCT	VINYL COMP. TILE
EXST OR (E)	EXISTING	OC	ON CENTER	VWC	VINYL WALL COVERING
EXP JT	EXPANSION JOINT	OD	OUTSIDE DIAMETER	W/	WITH
EXT	EXTERIOR	OF.	OUTSIDE FACE	WC	WATER CLOSET / TOILET
FD	FLOOR DRAIN	OPNG	OPENING	WD	WOOD
FDN	FOUNDATION	PR	PAIR	WDW	WINDOW
FHMS	FLAT HEAD MACHINE SCREW	PNL	PANEL	WNWC	WAINSCOAT
FH	FIRE HYDRANT	PART	PARTITION	WO	WITHOUT
		P/C	PRECAST	WP	WORKING POINT
		PLAS	PLASTER		
		PL	PLATE		



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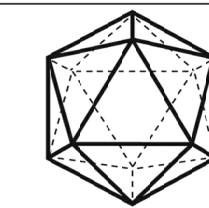
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PERMIT RESPONSE	2 11/07/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SYMBOLS AND ABBREVIATIONS

A0.1

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8431

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ARCHITECT
LAURA D. HAERMANN
STATE OF WASHINGTON

ECKELS
ANDERSEN
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PERMIT
SET

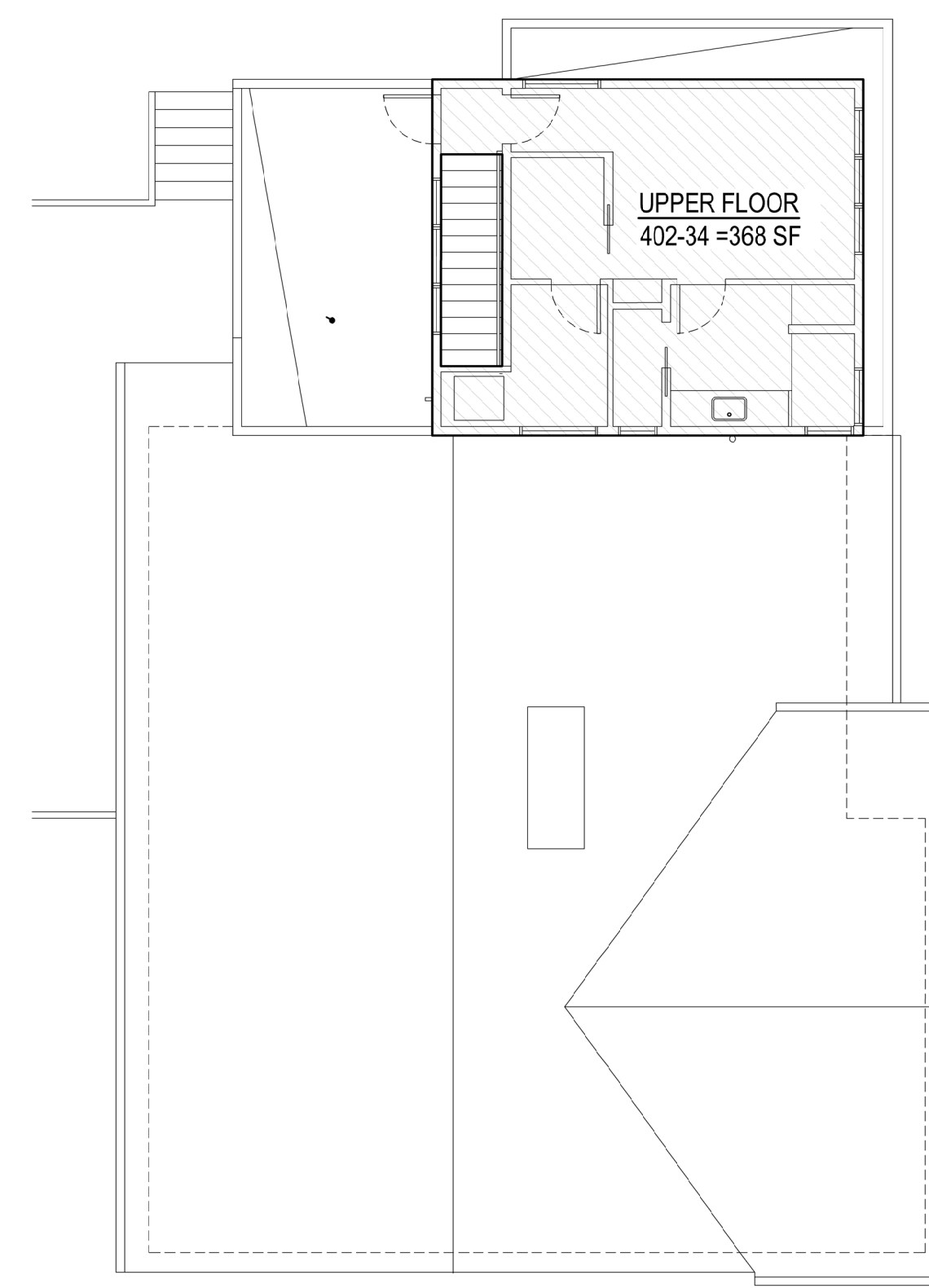
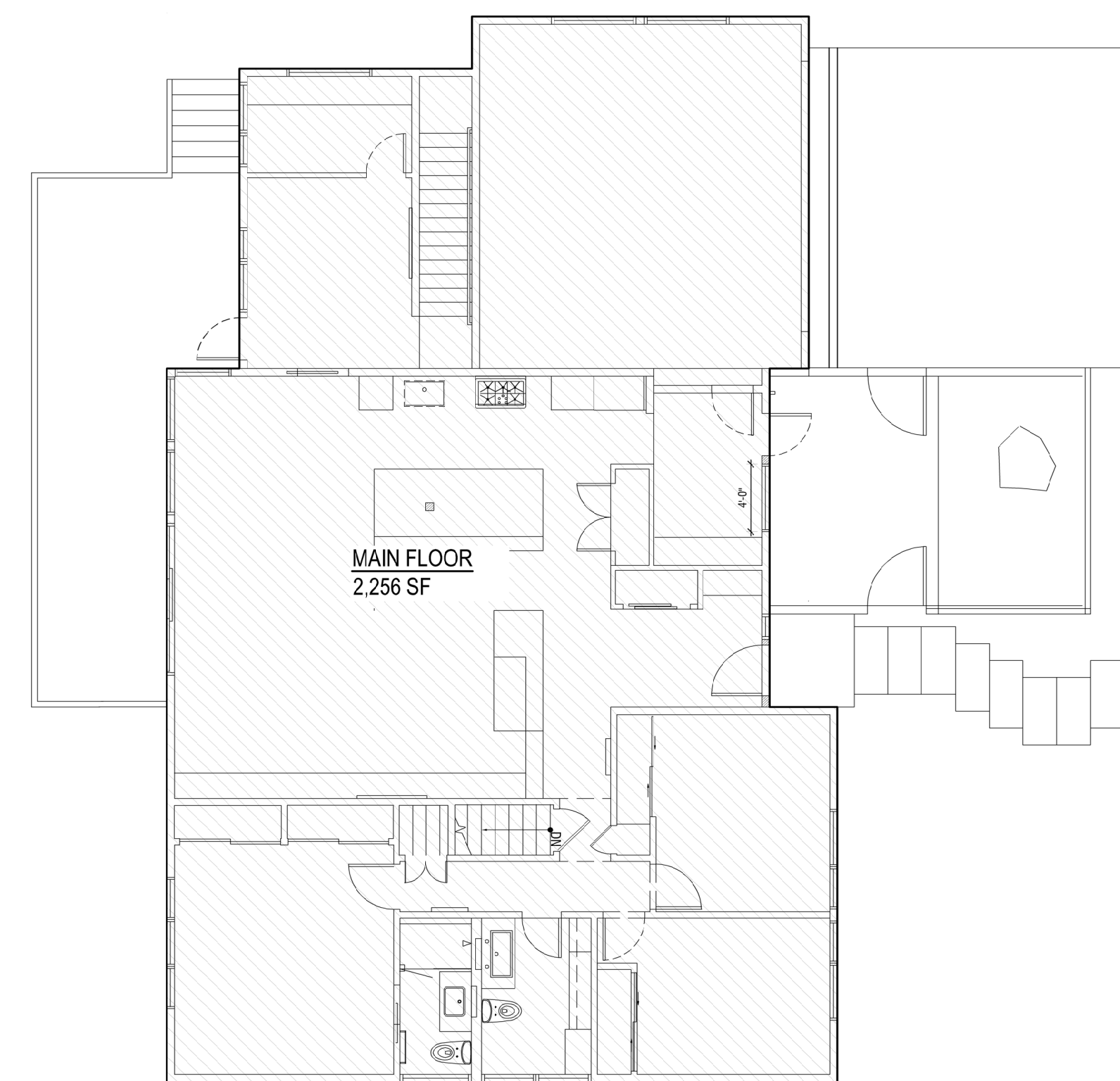
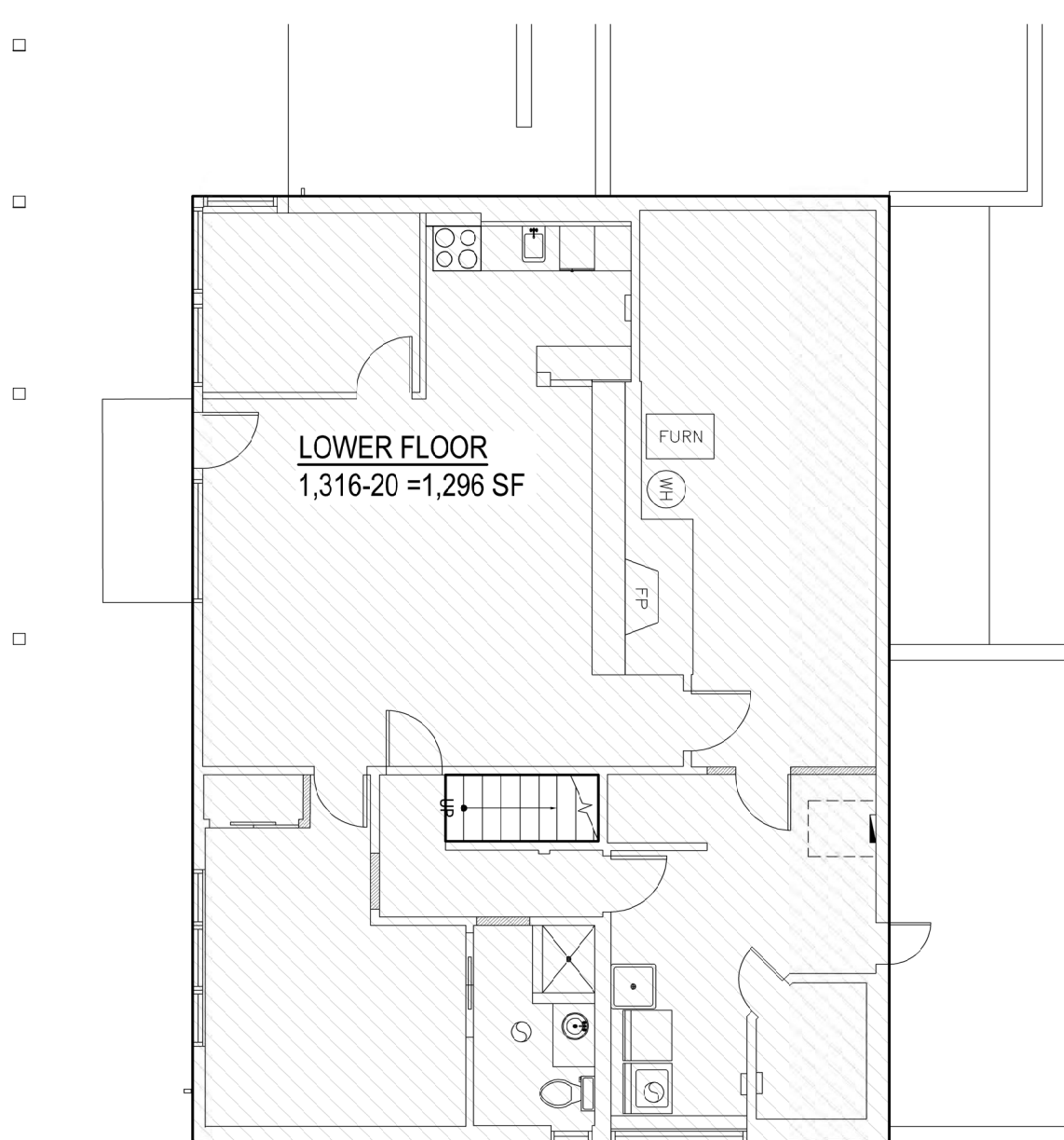
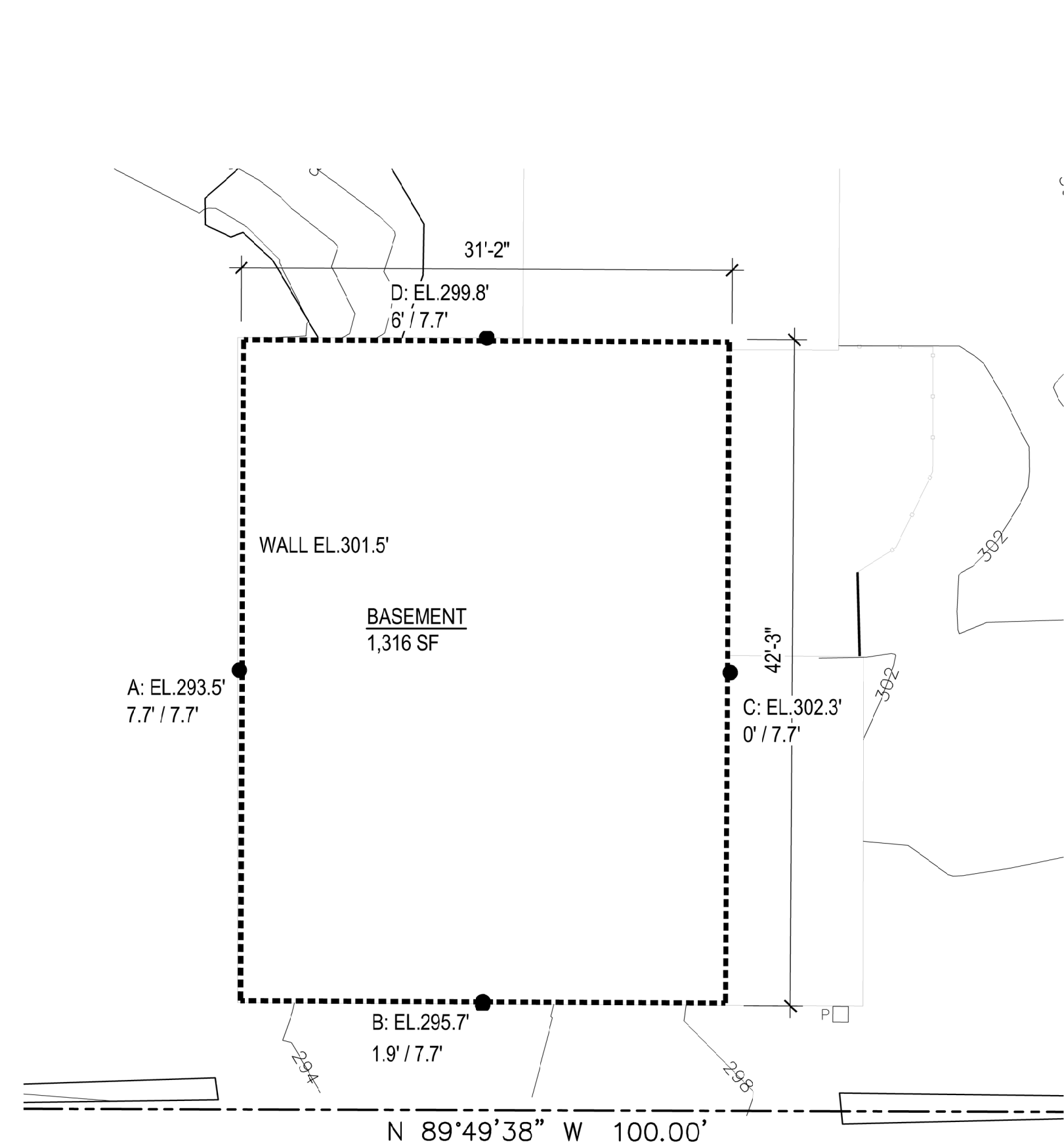
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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ZONING CODE
INFORMATION

A0.2



TOTAL OF WALL & COVERAGE

WALL SEGMENT	LENGTH x	COVERAGE	RESULT
A	42.3'	100%	42.3'
B	31.2'	24.7%	7.7'
C	42.3'	0%	0'
D	31.2'	77.9%	24.3'
TOTAL	147'		74.3'

PERCENTAGE OF BASEMENT WALL BELOW GRADE 74.3/147=51%
AREA OF BASEMENT BELOW GRADE (EXCLUDED FROM GFA) 51% OF 1,296 SF = 661 SF

GROSS FLOOR AREA CALCULATIONS

ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
	5% OF 7,500 = 375 SF INCREASE FOR ADU
TOTAL	3,375 SF
PROPOSED	(1,296-661) + 2,256 + 368 = 3,259 SF

1 GROSS FLOOR AREA CALCULATIONS
SCALE: 1/8" = 1'-0"

LOT COVERAGE CALCULATIONS

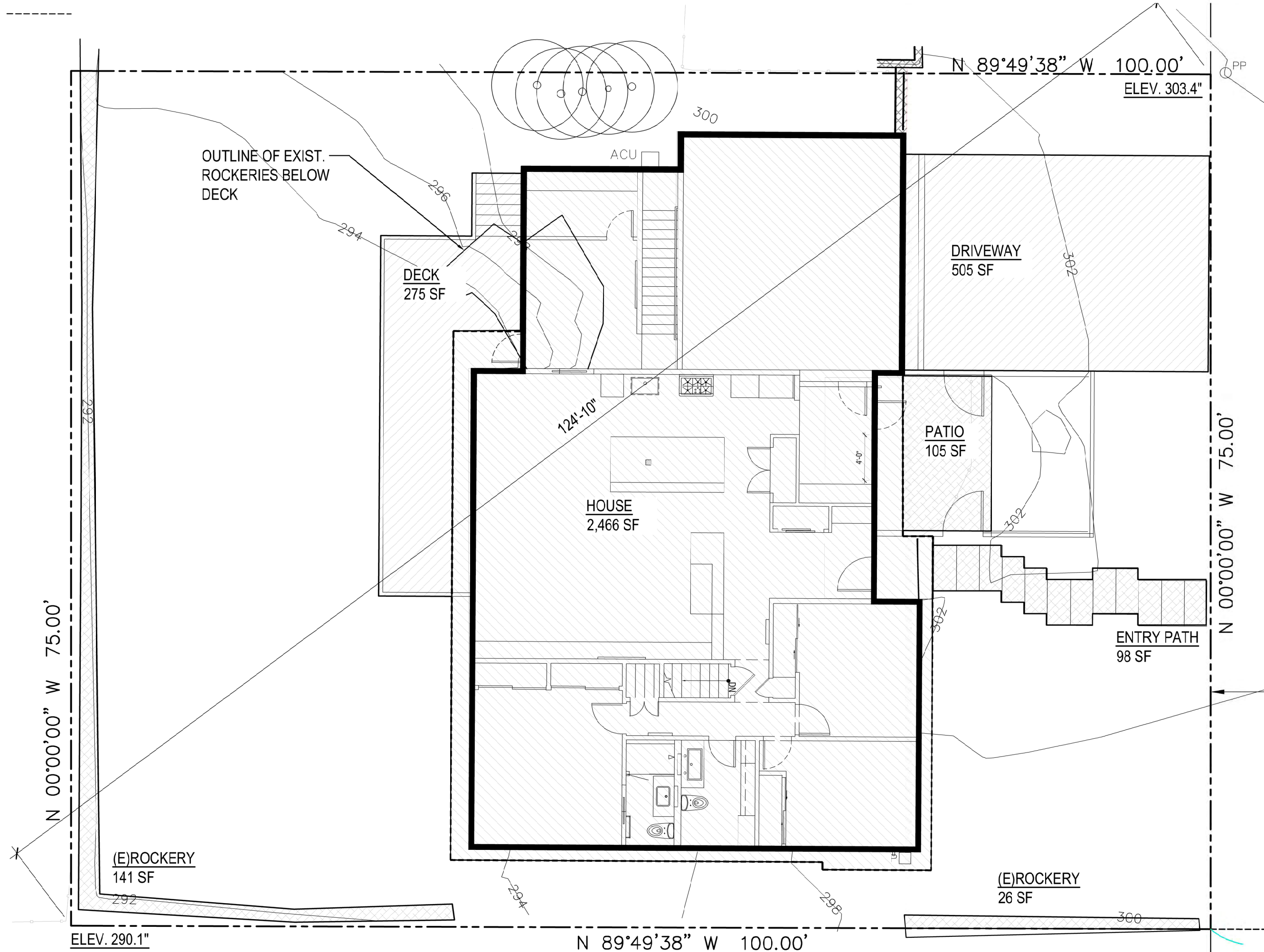
ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
PROPOSED	2,466 + 505 = 2,971 SF

HARDSCAPE/LANDSCAPED AREA CALCULATIONS

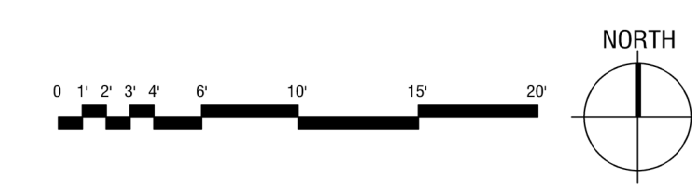
ALLOWABLE	60% OF LOT AREA (7,500) = 4,500 SF
	9% OF LOT AREA = 675 SF, 755 SF ADDITIONAL PER 19.02.020.3.b.i.a
PROPOSED	2,466 + 505 + 275 + 105 + 98 + 141 + 26 = 3,616 SF

SLOPE CALCULATIONS

HIGHEST ELEV. POINT	303.4'
LOWEST ELEV. POINT	209.1'
ELEV. DIFFERENCE	13.3'
HORIZ. DISTANCE	124.8'
SLOPE	10.7%



2 LOT COVERAGE CALCULATIONS
SCALE: 1/8" = 1'-0"

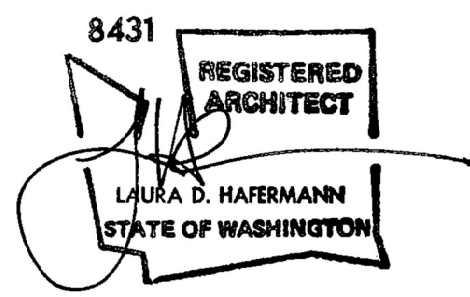


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ECKELS
ANDERSEN
ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT
SET

DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

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REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 2 11/07/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ENERGY CODE
INFORMATION

A0.3

Project Information
Addition to existing single family residence

Contact Information
Salt Studio
Laura Hafemann
laura@salt-studio.net

Messages / Results *
Review required for custom entries: Flat/Vaulted Ceilings:
UA Reduction = 0.06, Proposed UA is better than baseline by 0%
Vertical glazing area of proposed design exceeds 15% of floor area. Baseline window area set to 15% of floor area
Whole House Mechanical Ventilation Airflow Rate: 37.5 CFM with Run Time Percent of 100%, Balanced, Not Distributed
Results assume your inputs are complete and correct. Results on not complete an approval. Analysis should be reviewed by your A/E.

ANALYSIS SET UP
What code compliance pathway are you using? U-Factor Compliance Path / Total UA Alternative
Project Building Type? Addition
Occupancy Type? R2 Single family homes and duplexes
Code Version? WSEC 2021 WSEC-R Rev: Oct. 2023, https://www.sbcc.wa.gov/sites/default/files/2023-12/03-2023-WSEC-R-Rev-10-2023.pdf
Classification: Small Dwelling Unit - 656 sq. ft.
Baseline Description: Code Baseline - Baseline and proposed window areas are equal.
About Your Selection: Up to 15 of exempt window and 24 of exempt door allowable

RESULTS - Comparison of Baseline and Proposed Design

Component Performance, R, U-factors	Baseline	Proposed Design	
U	Area	UA	
Doors U =	0.300	17	5.0
Overhead Glazing U =	0.500	0	0.0
Vertical Glazing U =	0.300	100	30.0
Flat/Vaulted Ceilings U =	0.024	656	16.2
Wall (above grade) U =	0.054	1,191	62.1
Floors over Crawlspace U =	0.025	656	16.2
Slab on Grade F =	N/A	0	0.0
Below Grade Wall F =	N/A	0	0.0
Below Grade Slab F =	N/A	0	0.0
* Values from Table R402.1.2 (Oct 2023)			
Baseline UA Total	137.0		
Proposed UA Total	136.9		
Required Credits	5.0		
Proposed Credits	5.0	from: Tables 406.2 and 406.3	
UA Percent Reduction	0.0%		
UA Reduction	0.1		

If the Proposed UA is the Target UA, and the Proposed Credits from Table 406 are 2 or more required in Section R406, then the home meets the WSEC.

Table R406.2 Energy Equalization Credits

System No.	Full Description	Select System Type	Fuel Normalization Credits (406.2)	Energy Credits (406.3)	Total Credits (406.2 & 406.3)
4	For heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) or Table C403.3.2(3) OR Air to Water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590	Variable Refrigerant Heat Pump or Air-to-Water Heat Pump	3.0	2.0	5.0

Table R406.3 Energy Credits

Option No.	Category	Select Options	Energy Credits	Brief Description of Selected Options*
1	Efficient Building Envelope			
2	Air Leakage Control and Efficient Ventilation			
3.1-3.10	High Efficiency HVAC	Option 3.7	2.0	Ductless Split System with no electric resistance in primary living areas. HSPF2 of 9 (HSPF of 10, except HSPF2 of 8.1 (HSPF of 9) if heating load is 24000 BTU/h or less.
3.11	High Efficiency HVAC: Smart Thermostat		D.D.	
4	High Efficiency HVAC Distribution System		D.D.	
5.1	Efficient Water Heating: Drain Heat Recovery		D.D.	
5.2	Efficient Water Heating: Compact Hot Water Distribution		D.D.	
5.3-5.8	Efficient Water Heating		D.D.	
6	Renewable Electric Energy	W/h	D.D.	
7	Appliance Package		D.D.	
			Energy Credits	2.0

052824 eckels WSU_C32021 D.xlsm 5/28/2024 1

THERMAL ENVELOPE DETAILS - Proposed Design

Conditioned Floor Area of Addition, Proposed Design: 656 sq. ft.
Classification: Small Dwelling Unit

Exterior Doors

Plan ID	Component Description	Ref.	U	Qt.	Feet	Height	Area	UA
Exempt	Code Baseline, U=0.30		0.30	1	2	6	17	5.0
105 ex	Code Baseline, U=0.30		0.30	1	2	6	17	5.0
200	Code Baseline, U=0.30		0.30	1	2	6	17	5.0
Sum of Area and UA (excluding exempt door)								17
Exterior Doors Area Weighted U								0.300

Overhead Glazing

Plan ID	Component Description	Ref.	Glazing U	Qt.	Feet	Height	Area	UA
Sum of Area and UA								0.0
Overhead Glazing Area Weighted U								0

Vertical Glazing Schedule

Plan ID	Component Description	Ref.	U	Qt.	Feet	Height	Area	UA
Exempt	U=0.27		0.27	1	5	3	15.0	4.05
5	U=0.27		0.27	1	5	2	10.0	2.70
206.07	U=0.27		0.27	2	5.00	4	46.7	12.60
110	U=0.27		0.27	1	4	2	8.0	2.16
417								
15	U=0.24 (2018 1.1)	Table 406.2	0.24	1	8	4	37.3	8.95
10	U=0.27		0.27	1	4	2	8.0	2.16
20 ex								
21 ex								
22 ex								
1025	U=0.27		0.27	1	7	4	31.3	8.44
11								
12								
Sum of Area and UA (excluding exempt window)								141.3
Vertical Glazing Area Weighted U								0.262
Vertical Glazing and Doors Area Weighted U								0.266

Flat/Vaulted Ceilings

Plan ID	Component Description	Ref.	Attic U	Area	UA
Roof Deck	2" closed cell foam + 9.5" blown in blanket fiberglass	Custom	0.020	201	5.2
Roof	R38 batt vault vented 2x14 16cc (2018 Code Baseline)	10.7	0.027	405	10.9
Sum of Area and UA					656
UA					16.2

Walls (Above Grade)

Plan ID	Component Description	Ref.	Wall U	Area	UA
	R21 cavity+R6 foam INT 2X6W Lap (Code Baseline)	10.5	0.054	1,190	62
Sum of Area and UA					1,190
UA					62

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Floor (over crawl or exterior)

Plan ID	Component Description	Ref.	Floor U	Area	UA
	R38 vented Joist	10.3	0.025	201	7
	R38 vented Joist (2021 1.2, 2018 1.3-1.5)	10.3	0.03	405	13
Sum of Area and UA					656
UA					17

Slab on Grade (less than 2 feet below grade)

Plan ID	Component Description	Ref.	Slab F	Slab Perim	FP
Sum of Perimeter and FP					0
UA					0

Below Grade Walls and Slabs

Plan ID	Component Description	Slab Depth	Ref.	Wall U	Wall Area	Wall UA	Slab F	Slab Perim	Slab UA
Sum of Area, Length and UA									
UA									

Links to Download Forms, Checklists and Other Resources

Compliance Certificate
Insulation Certificate for Residential New Construction
Duct Testing Affidavit

Existing Construction Affidavit, Existing
New Construction Affidavit, New

Prescriptive Checklist for 2018 WSEC Alterations (Remodel) Worksheet
ER SEER2 COP HSPF2 Converter

Ventilation Requirements

Show Ventilation Calculator? Show

Conditioned Floor Area: 656 sq. ft.
Number of Bedrooms: 1
Run-Time Percent in Each 4-hour Segment: 100%
Is the system Balanced? Balanced
Is the system Distributed? Not Distributed
Ventilation Code Section: IRC, Chapter 15
Whole House Mechanical Ventilation Airflow Rate: 38 CFM

HVAC Thermal Distribution System

Show Distribution System Calculator? Show

Download RS-33 (2018) http://www.wseca.wa.gov/4Documents/Documents/Downloads/RS33/RS33.pdf

Is this a hydronic heating system? No
Location of Ducts: Conditioned Space
Location of Air Handler: Unconditioned Space

For Existing Construction: Are Any of These Exceptions True?
Are ducts systems documented to have been previously sealed as confirmed through field verification and diagnostic testing per RS-33? No
Is there less than 40 linear feet in unconditioned spaces? (not excepted under WSEC 2021) Yes
Are existing duct systems constructed, insulated or sealed with asbestos? No
Is the project an Addition less than 750 of conditioned floor area? Yes

Is Duct Testing Required? No
A maximum of 10 feet of return ducts and 5 feet of supply ducts are allowed to be located outside of the building thermal envelope. If insulated and sealed per R403.3.7.

Heating System Sizing - Proposed Design

Show Heating System Sizing? Show

Try Out BetterBuildWV's HVAC Sizing Tool: http://betterbuildwv.com/resources/energy/energy-calculator/

Nearest Weather Station: Mercer Island
Indoor Design Temperature: 70 F
Outdoor Design Temperature: 25 F
Design Temperature Difference (ΔT): 45 F

Conditioned Floor Area of Addition, Proposed Design: 656 sq. ft.
Conditioned Volume: 5,329 cu. ft.
Linear length to ceiling (at least of 8.5 ft. ceiling height)

HVAC System Type: Heat Pump
Location of HVAC Distribution System: Conditioned Space

Sum of UA, including exempt door and window: 146

Envelope Heat Load: 6,569 [Btu / Hour]
Sum of UA x ΔT

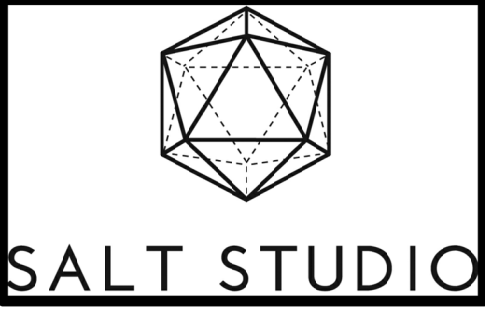
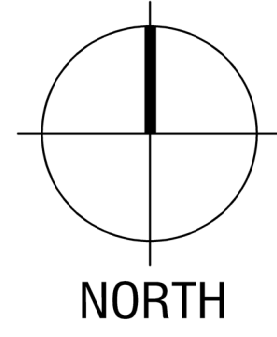
Air Leakage Heat Load: 2,589 [Btu / Hour]
(Volume x 0.5) x ΔT x 0.018

Building Design Heat Load: 9,158 [Btu / Hour]
(Envelope + Air Leakage + Envelope Heat Loss)

Building and Duct Heat Load: 9,158 [Btu / Hour]
For ducts located in unconditioned space: Sum of Building Heat Loss x 1.1
For ducts located in conditioned space or ductless: Sum of Building Heat Loss x 1

Maximum Heat Equipment Output: 11,448 [Btu / Hour]
Building and Duct Heat Loss x 1.25 for heat pumps
Building and Duct Heat Loss x 1.45 for all other systems: 3.4 [kW]

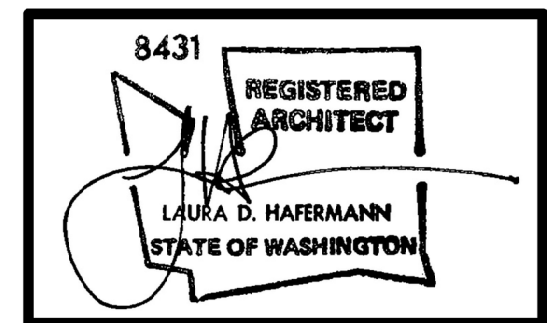
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**ECKELS
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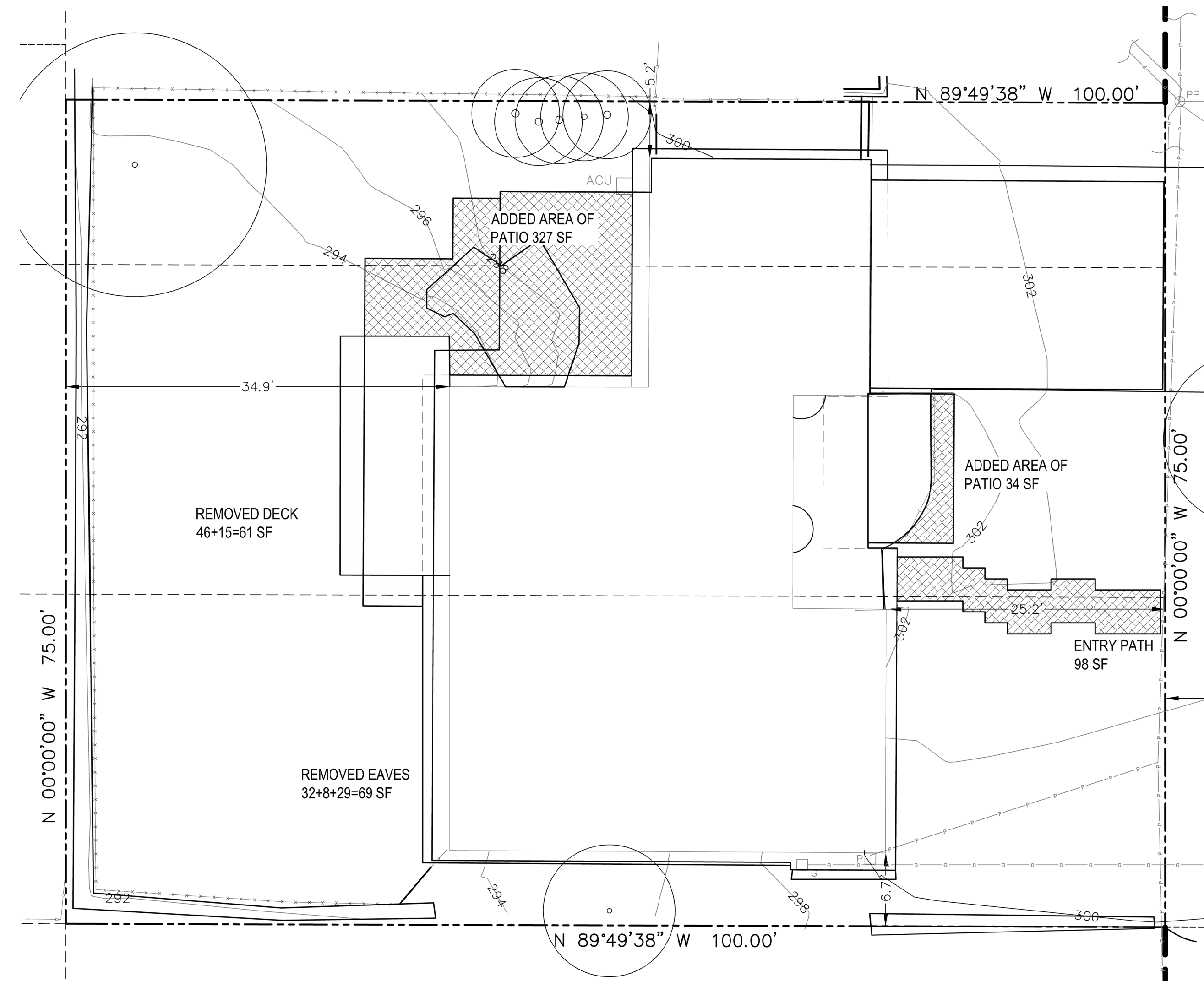
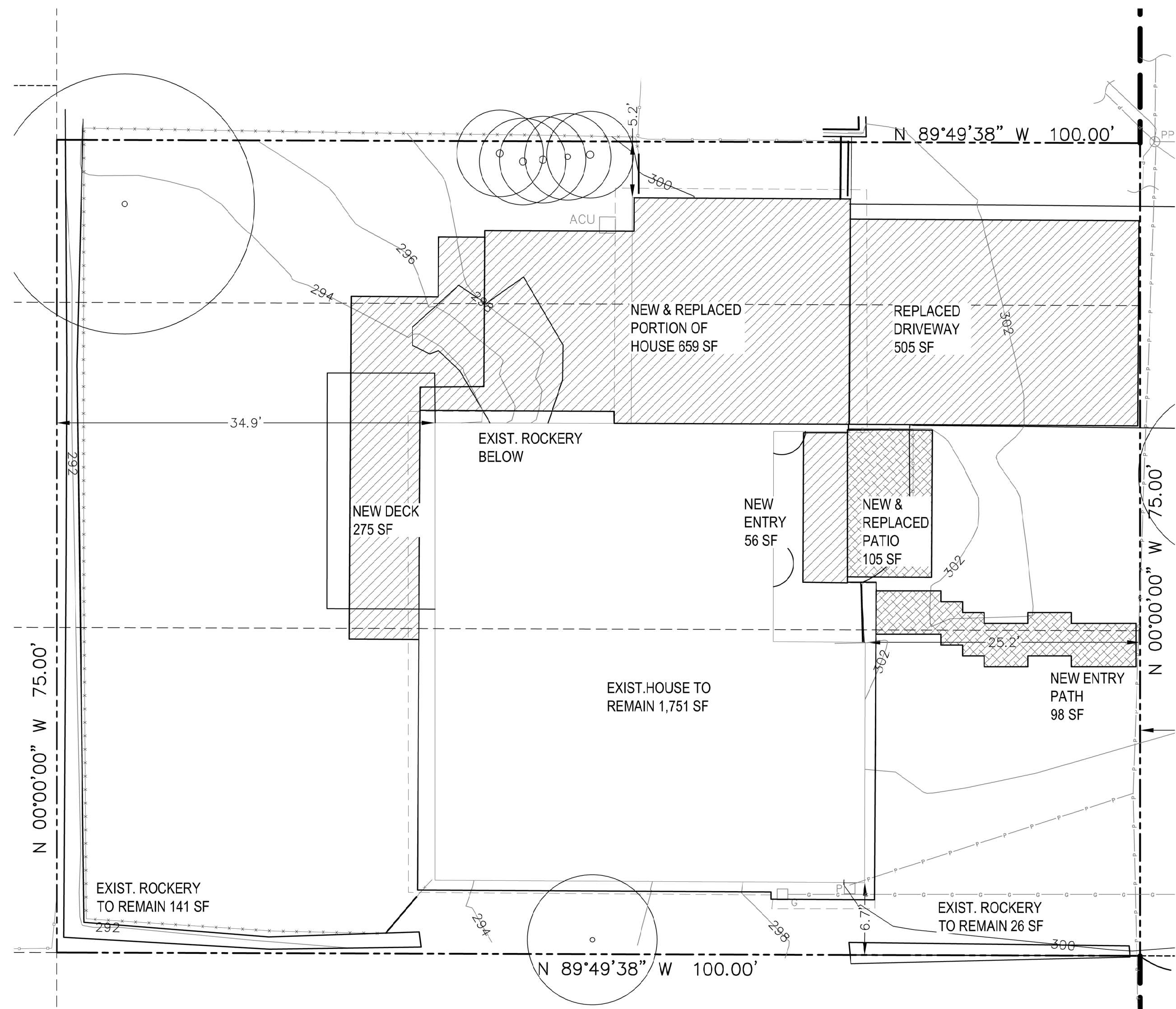
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- PERMIT RESPONSE 2 11/07/24

DESIGNED: LH
 DRAWN: LH
 REVIEWED: LH

SITE PLAN

A 1.1

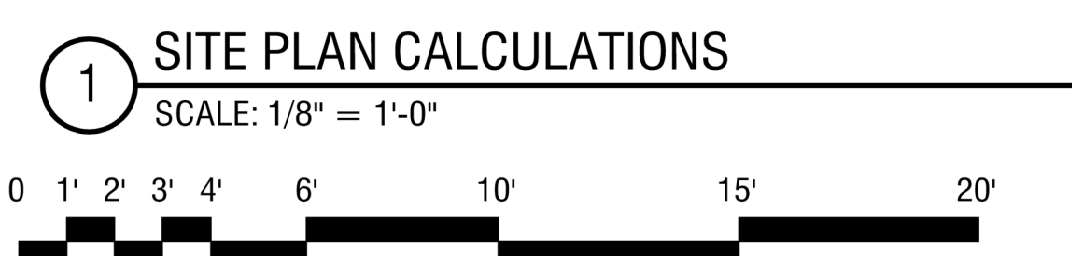


HARDSCAPE CALCULATIONS

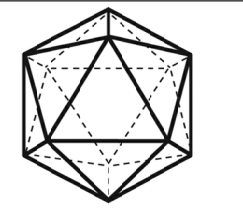
NEW OR REPLACED	659+275+56+505+105+98=1,698 SF LESS THAN 2,000 SF
EXISTING TO REMAIN	1,751+141+26=1,918 SF

IMPERVIOUS CALCULATIONS

ADDED AREAS	327+98+34=459 SF
REMOVED AREAS	61+69=130 SF
TOTAL NEW	329 SF LESS THAN 500 SF



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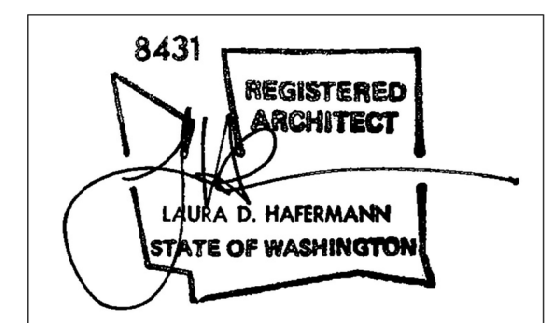


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ECKELS ANDERSEN ADDITION

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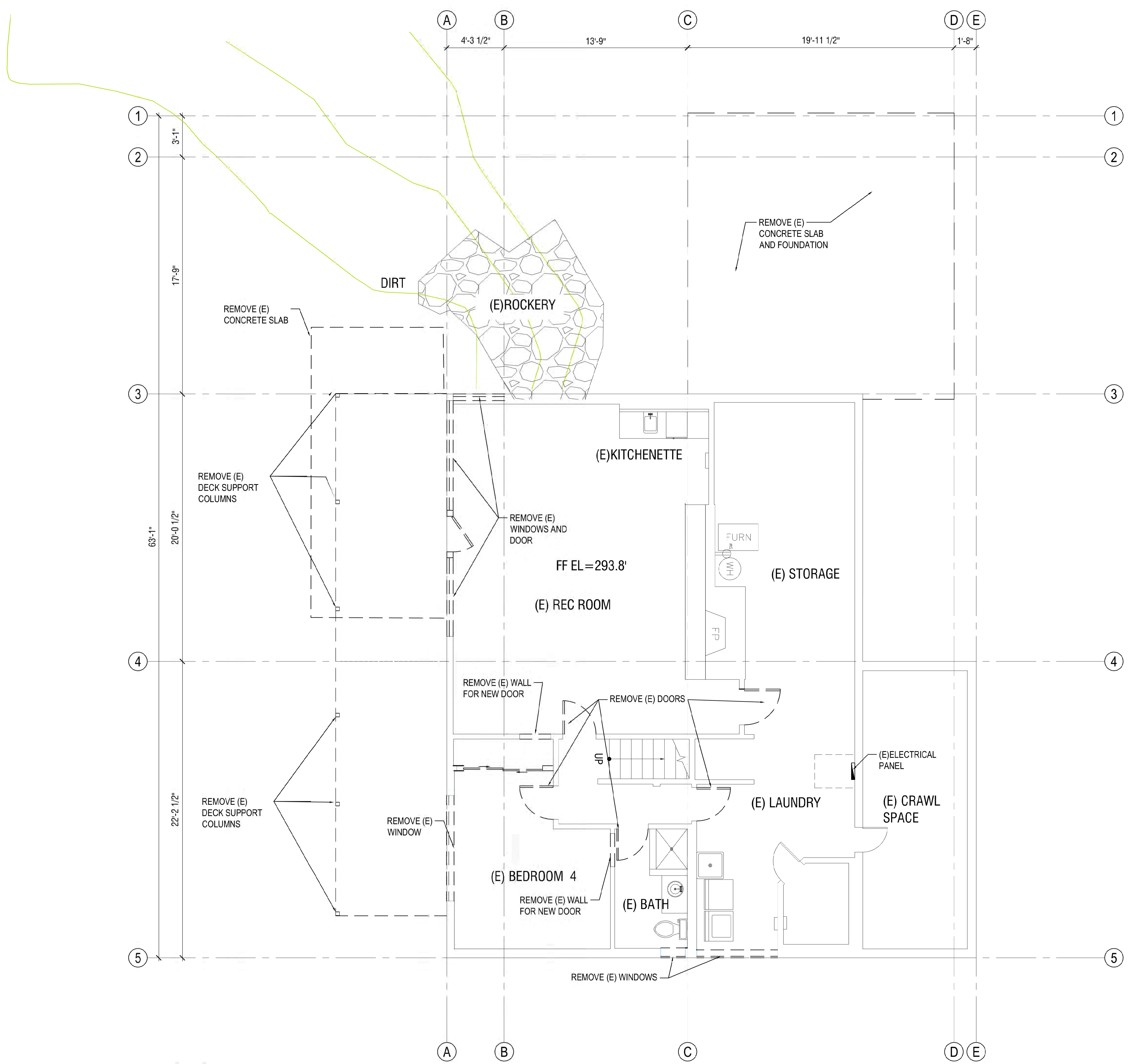
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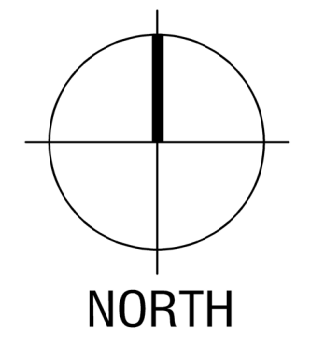
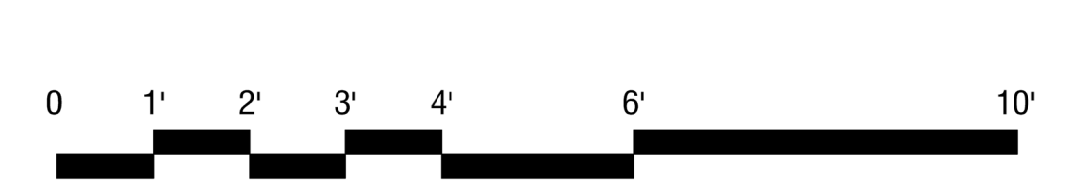
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DRAWN: LH
REVIEWED: LH

LOWER LEVEL DEMO PLAN

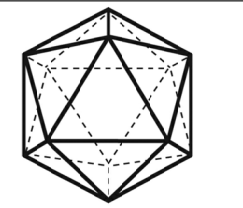
D1.0



1 LOWER LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



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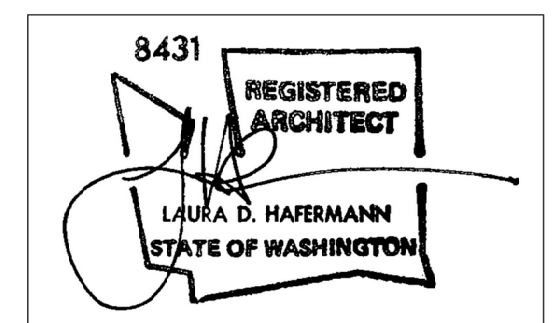


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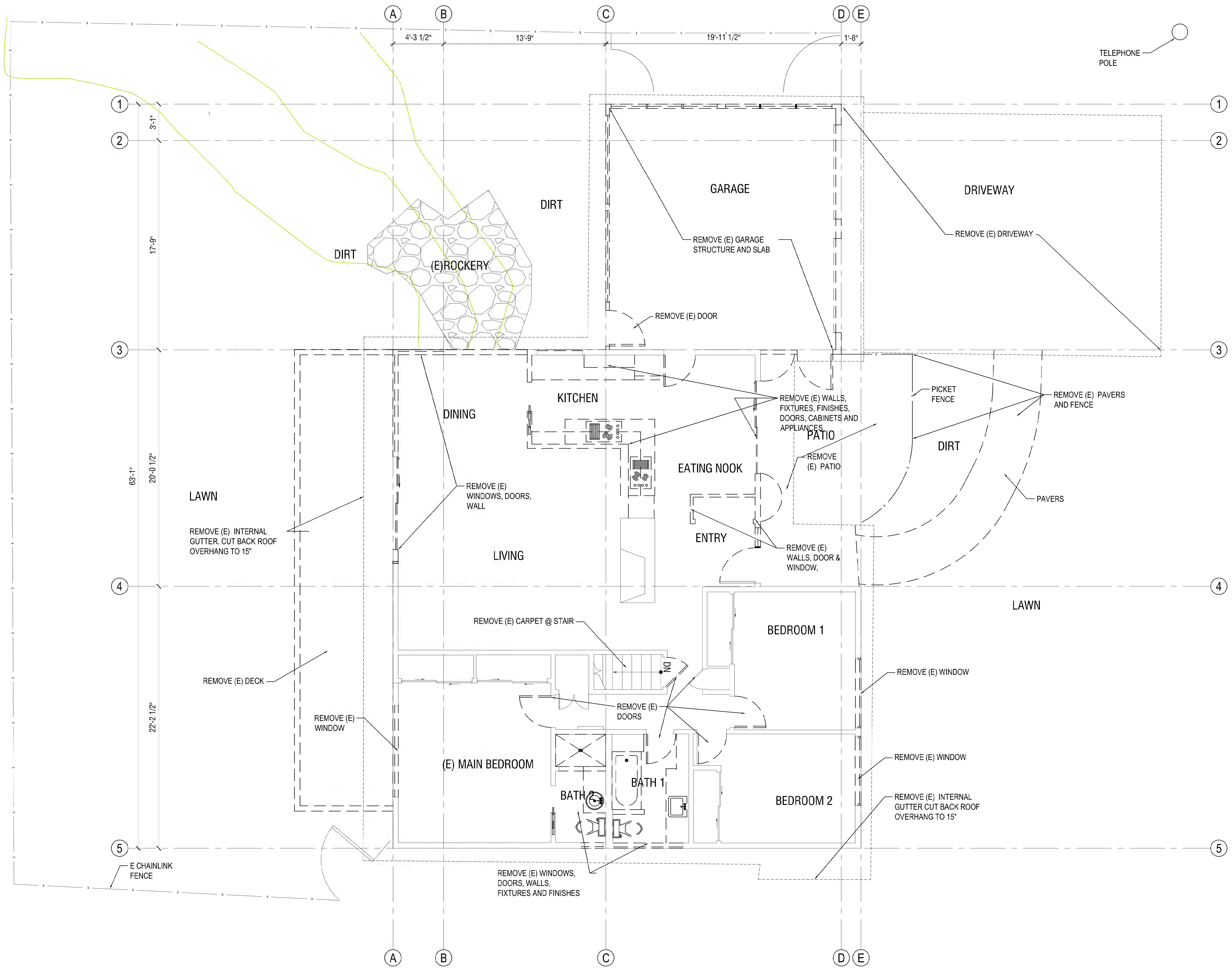
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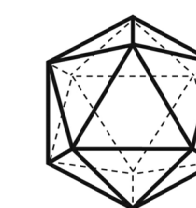
MAIN LEVEL DEMO PLAN

D1.1



1 MAIN LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"

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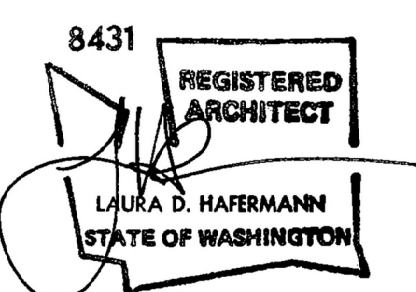


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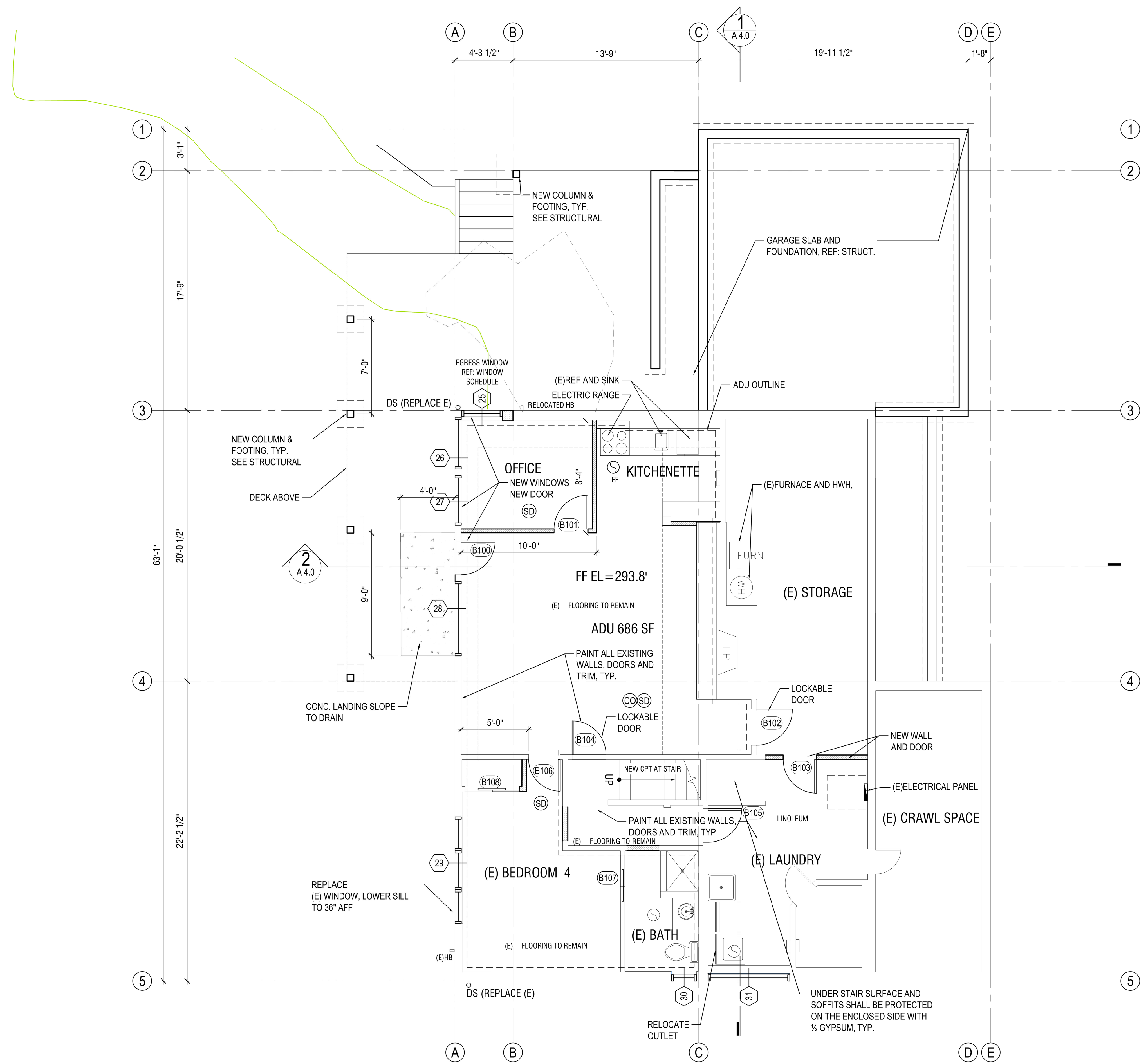
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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

LOWER LEVEL FLOOR PLAN

A2.0



VENTS
EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FT FROM PROPERTY LINES; 3 FT FROM OPENINGS INTO BUILDING AND 10 FT FROM MECHANICAL AIR INTAKES, EXCEPT WHERE OPENING IS LOCATED 3FT ABOVE AIR INTAKE.

FIREPLACE
FACTORY-BUILT FIREPLACE SHALL BE LISTED, LABELED, TESTED IN ACCORDANCE WITH UL 127, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

HANDRAIL IRC R311.7.8

- HEIGHT: 34-38 INCHES ABOVE STAIR NOSING.
- CONTINUITY: CONTINUOUS FOR FULL LENGTH OF FLIGHT. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
- GRIP-SIZE: BETWEEN 1-1/4 AND 2 INCHES.
- WHERE USED AS A GUARDRAIL, A MAXIMUM OPENING SHALL BE 4 INCHES.

(SD) SMOKE ALARMS
IRC SECTION R314. A SMOKE ALARM LISTED AND LABELED IN ACCORDANCE WITH UL217 SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EACH STORY OF THE DWELLING (INCLUDING BASEMENTS BUT EXCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS), AND NOT LESS THAN 3 FT HORIZONTALLY FROM DOOR OF BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

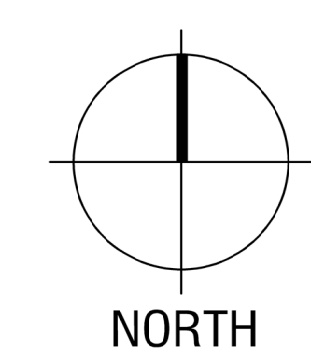
(CO) CARBON MONOXIDE ALARMS
AN APPROVED CARBON MONOXIDE ALARM LISTED WITH UL 2034 SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH FLOOR OF THE DWELLING UNIT.

(H) HEAT DETECTORS AND HEAT ALARMS

(S) EXHAUST FAN

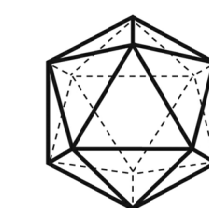
ANCHORAGE OF APPLIANCES
APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN APPROVED MANNER. THERMAL STORAGE UNITS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE IN ACCORDANCE TO THE FOLLOWING:
1. ANCHORAGE AND STRAPPING SHALL BE DESIGNED TO RESIST A HORIZONTAL FORCE EQUAL TO 1/3 OF OPERATION WEIGHT OF WATER.
2. ANCHORAGE OF STRAPPING SHALL BE IN ACCORDANCE WITH APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A DISTANCE OF NOT LESS THAN 4" SHALL BE MAINTAINED FROM CONTROLS WITH STRAPPING.



1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212

8431 REGISTERED ARCHITECT



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

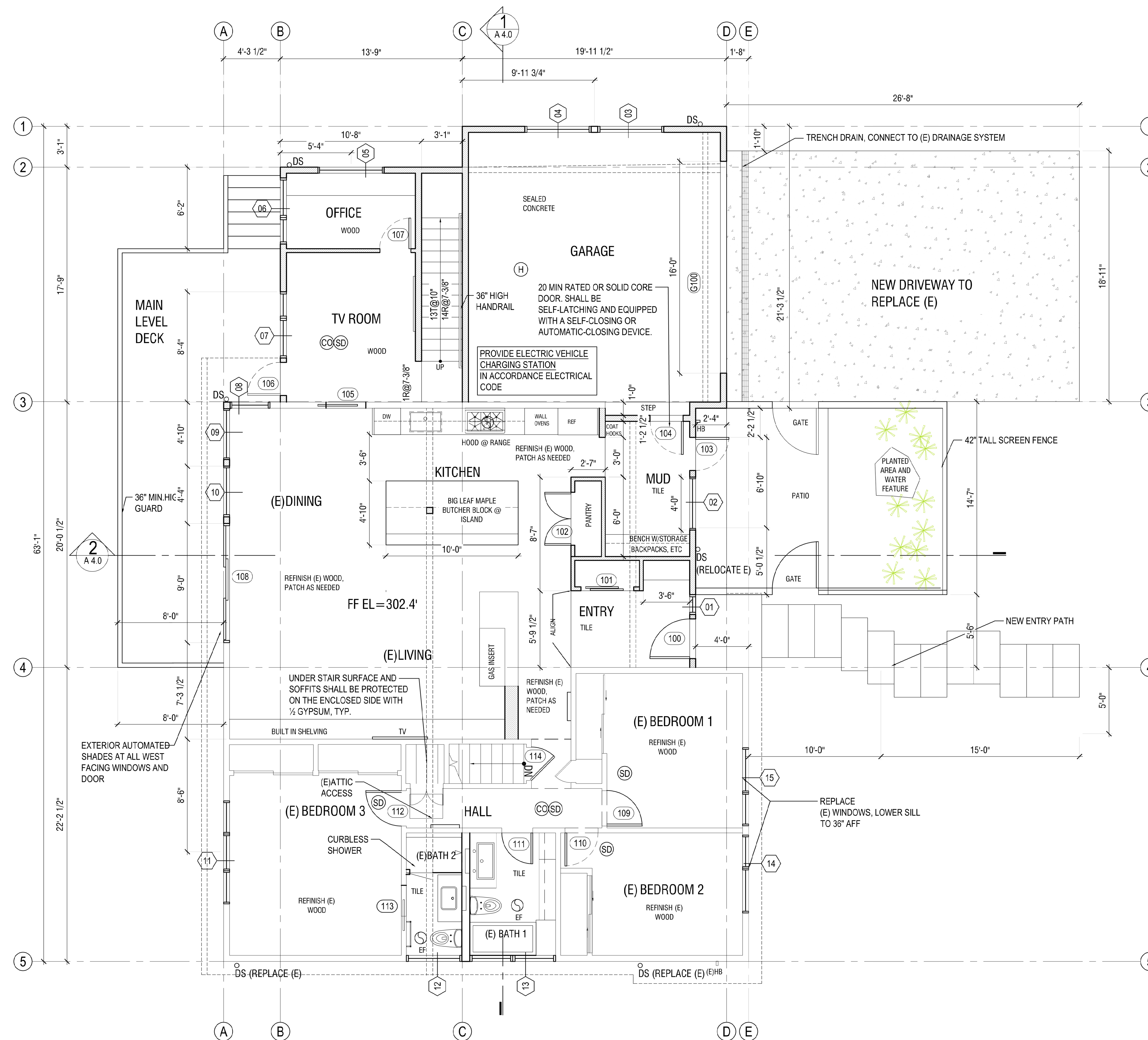
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 2 11/07/24

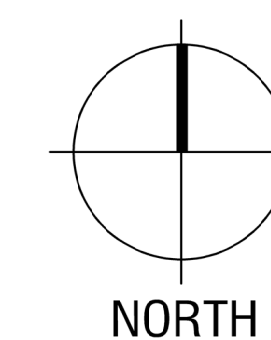
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DRAWN: LH
REVIEWED: LH

MAIN LEVEL FLOOR PLAN

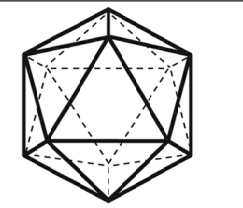
A2.1



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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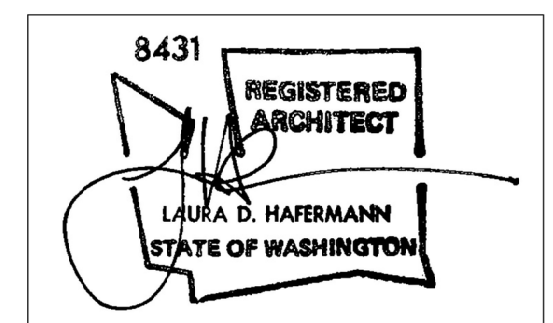


SALT STUDIO

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OWNER:
JANE ECKELS/HANS ANDERSEN
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MERCER IS, WA 98040

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(206)443-6212



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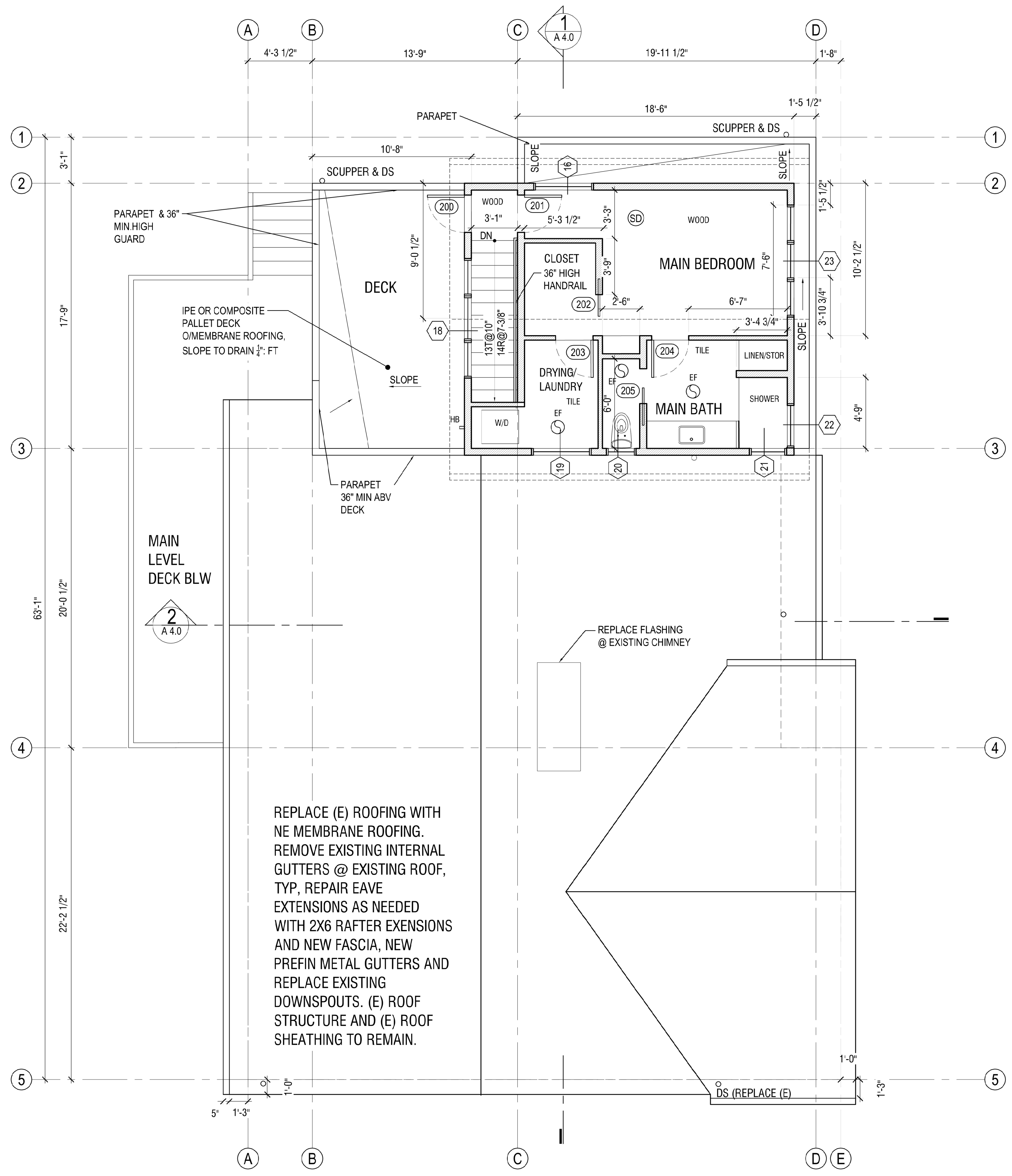
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- PERMIT RESPONSE 2 11/07/24

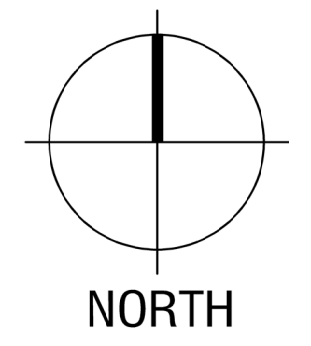
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DRAWN: LH
REVIEWED: LH

UPPER LEVEL FLOOR PLAN

A2.2

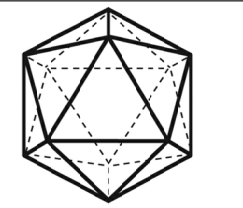


1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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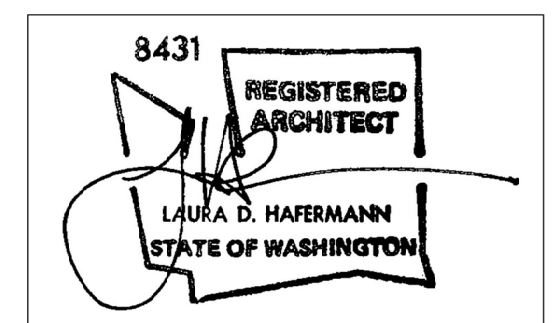
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PERMIT SET

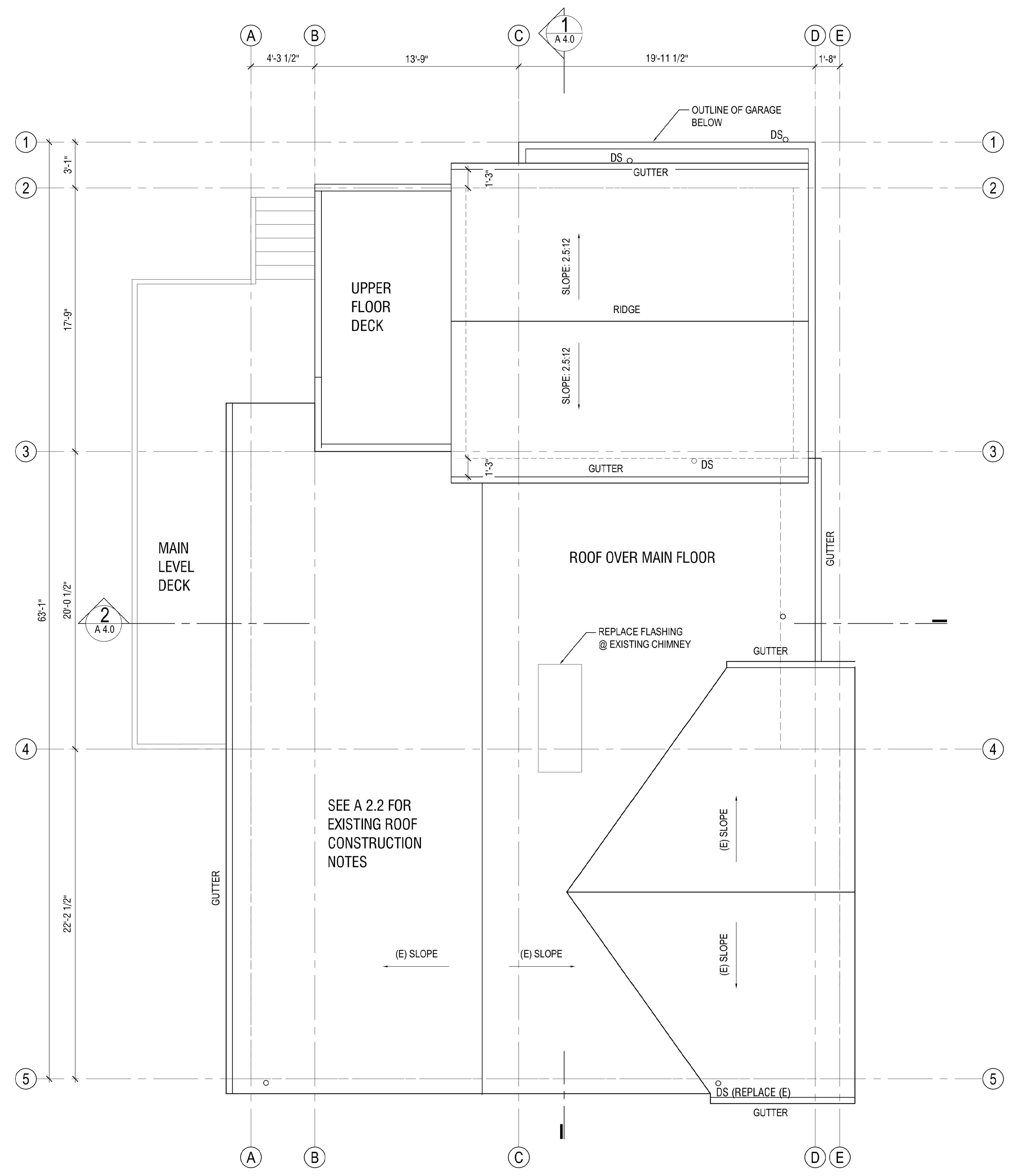
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PERMIT 05/28/24
PERMIT RESPONSE 2 11/07/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ROOF PLAN

A2.3

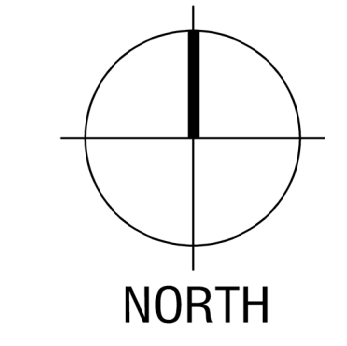


ROOF VENTILATION OVER ROOF DECK
IN LIEU OF VENTILATION PROVIDE SPRAYED OF ICYNENE PROCEAL (ICC ESR-3500), AIR IMPERMEABLE INSULATION ACHIEVING R19 INSULATION IMMEDIATELY BELOW ROOF SHEATHING. FILL REMAINING PORTION OF CAVITY W/ R19 FIBERGLASS INSULATION TO ACHIEVE R38 IN CAVITY.
A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE PROVIDED ON SITE FOR THE FILED INSPECTOR.
THE APPLIED SPRAY FOAM MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY A CERTIFIED INSTALLER

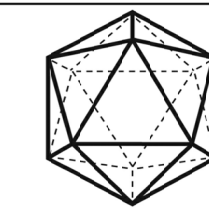
ATTIC VENTILATION
ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED, THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/8" MINIMUM TO 1/2" MAXIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATIONS OF THE VENTS.

NET FREE VENT AREA 365 SF / 150 = 2.43 SQ.FT
19 FT x 3" = 4.75 SQ. FT EAVE AND RIDGE VENT

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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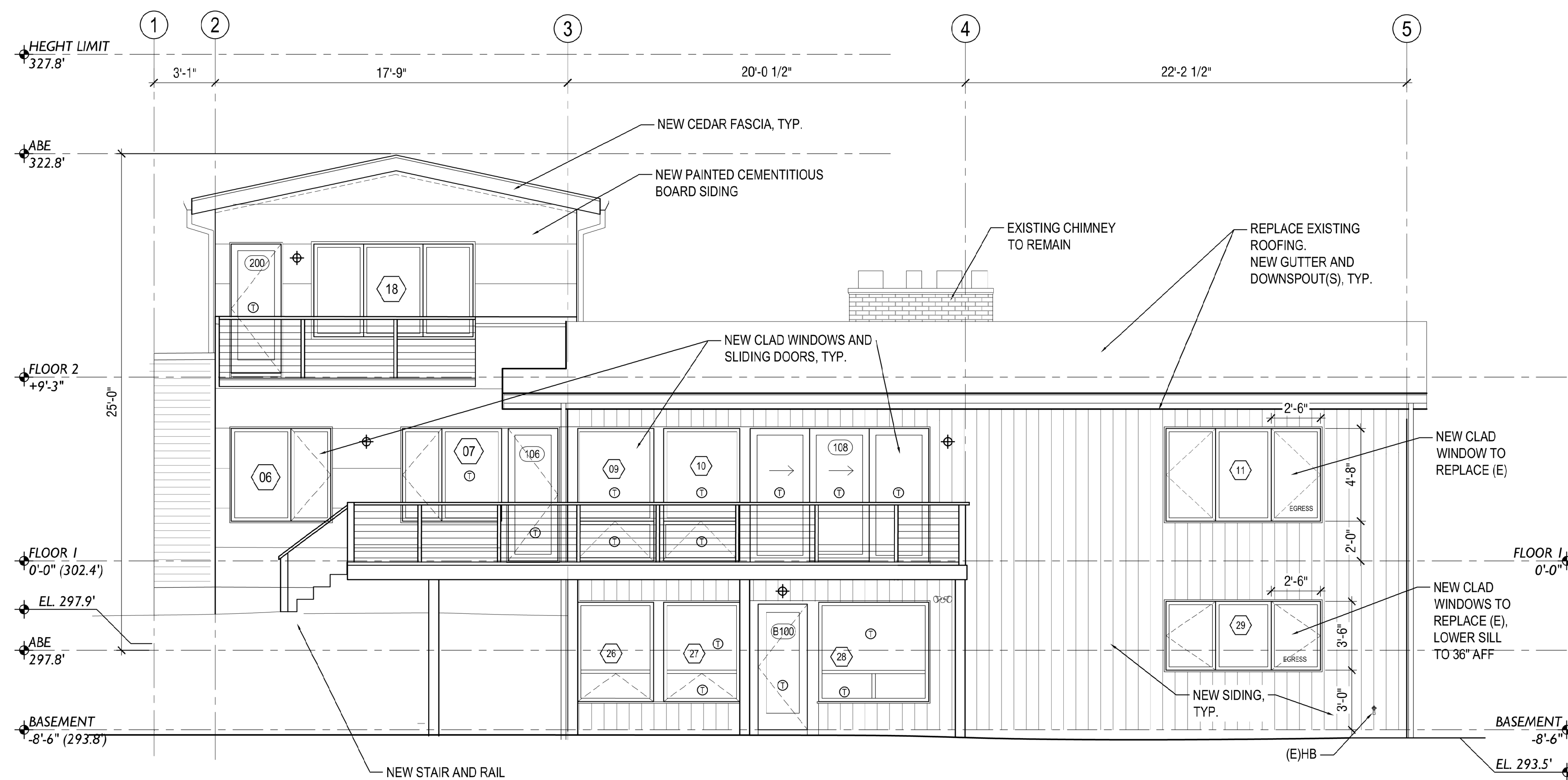
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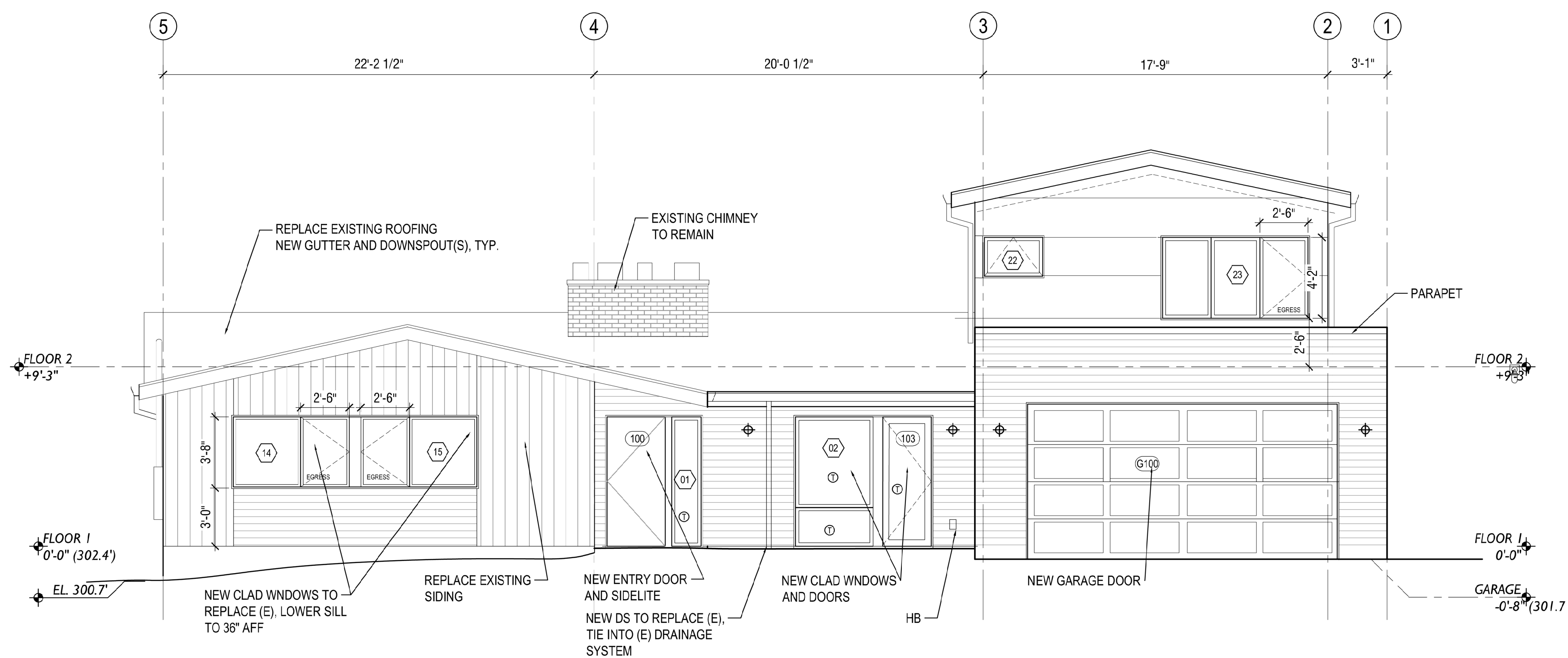
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS WEST & EAST

A 3.0



1 ELEVATION WEST
SCALE: 1/8" = 1'-0"



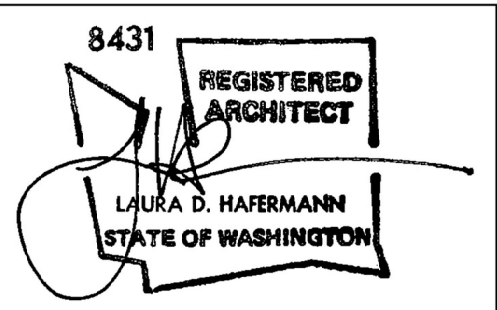
2 ELEVATION EAST
SCALE: 1/8" = 1'-0"



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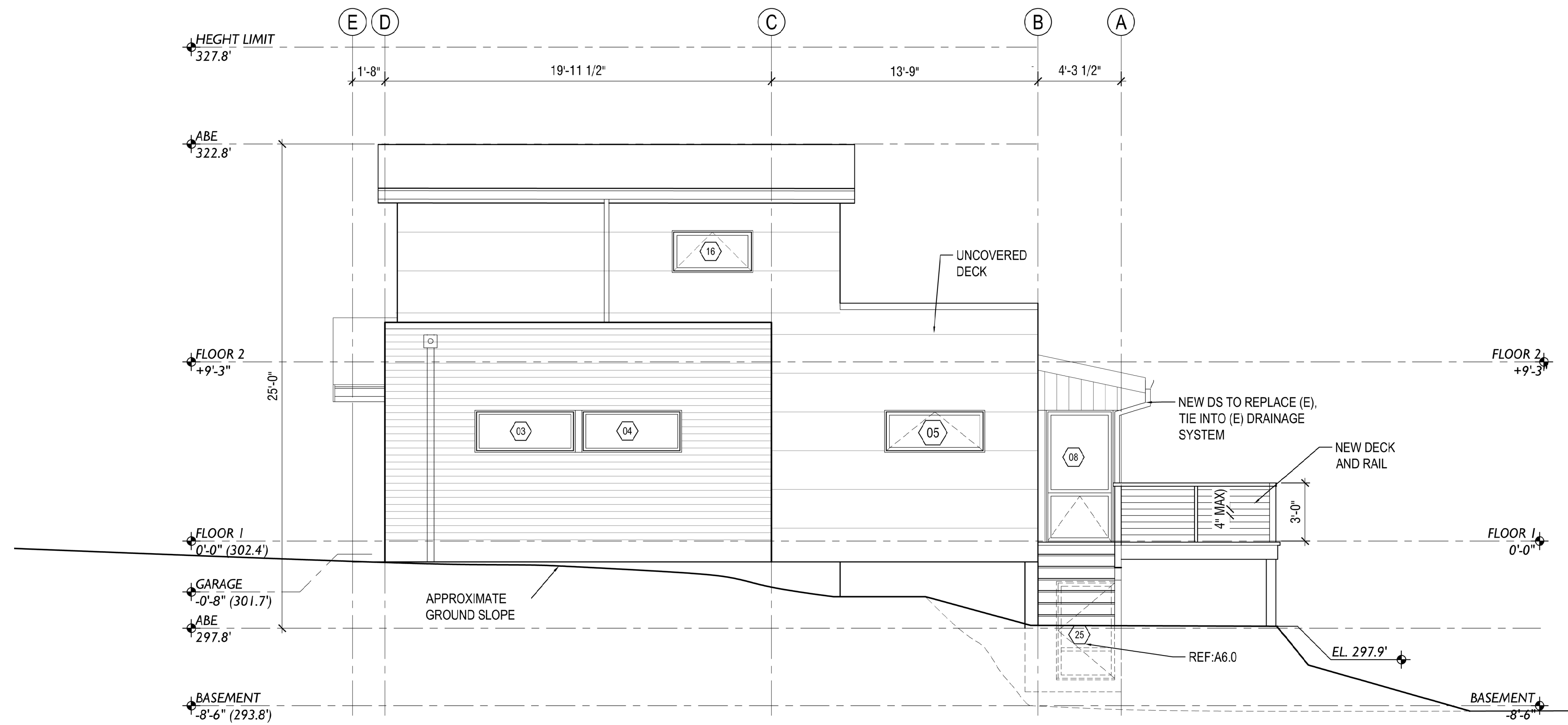
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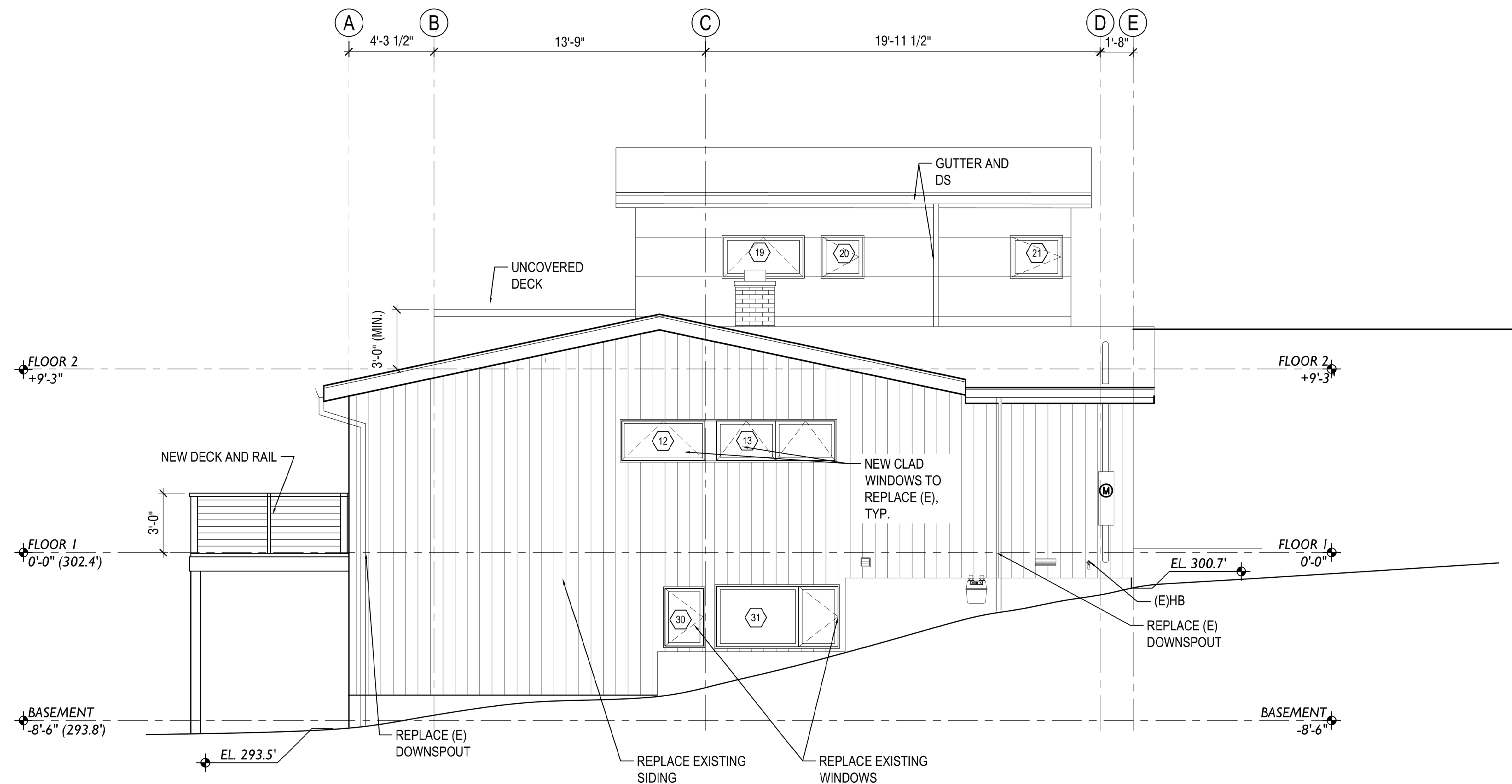
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS
NORTH & SOUTH

A 3.1

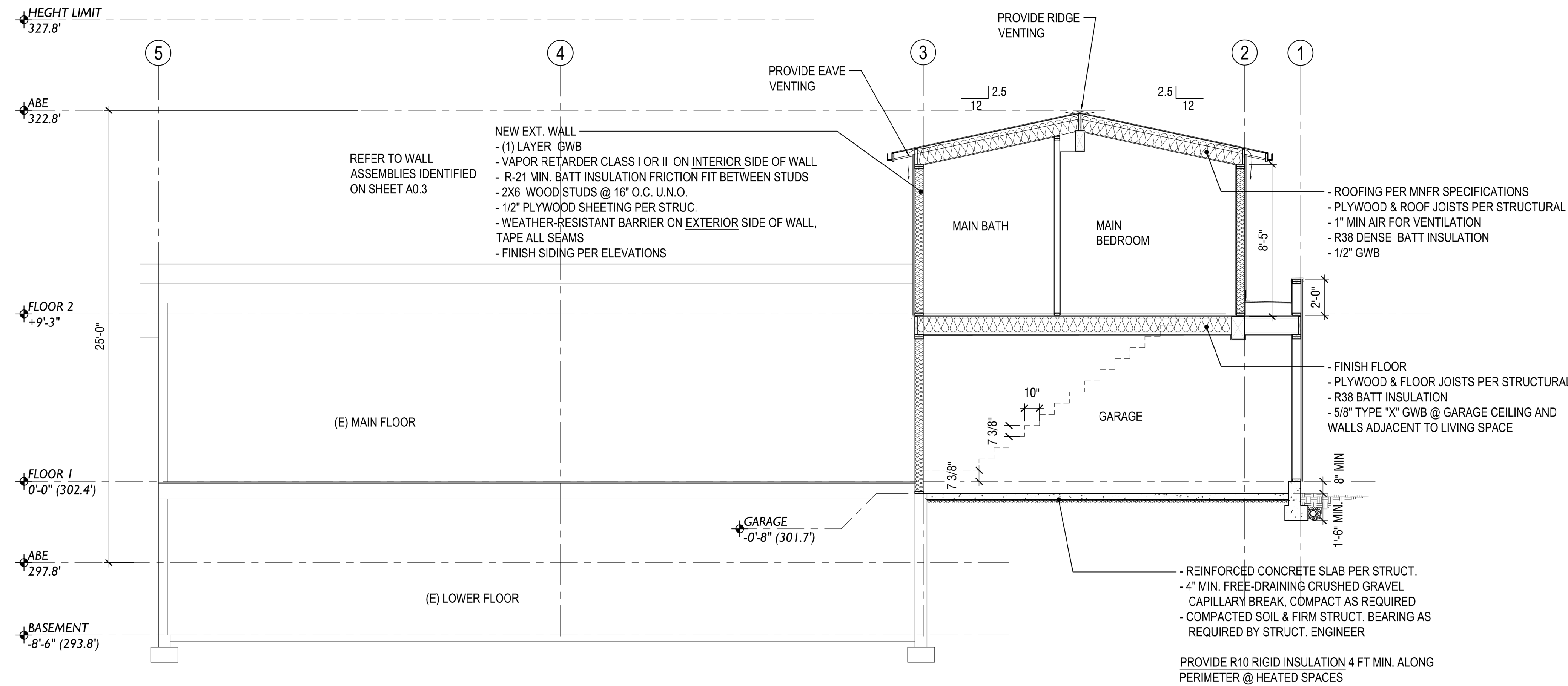


1 ELEVATION NORTH
SCALE: 1/8" = 1'-0"

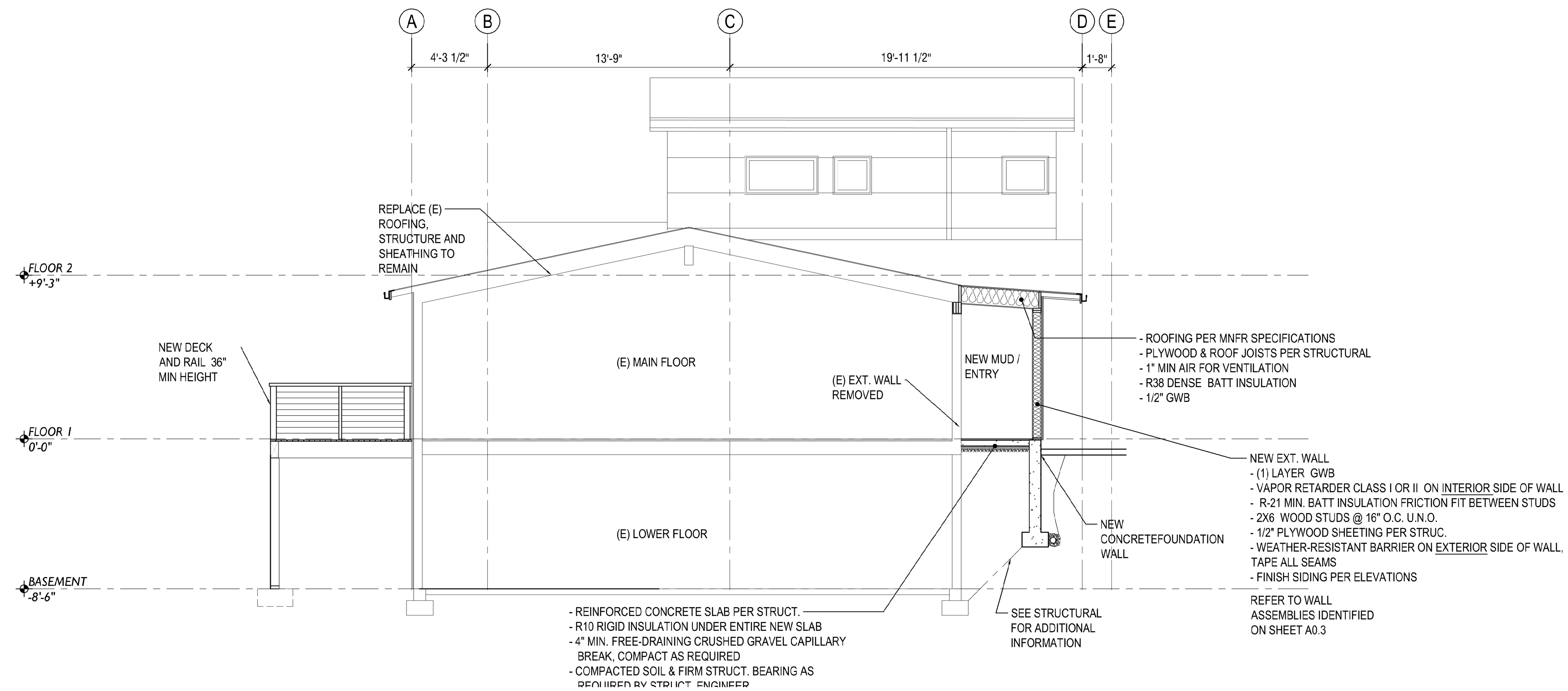


2 ELEVATION SOUTH
SCALE: 1/8" = 1'-0"





1 SECTION
SCALE: 1/8" = 1'-0"



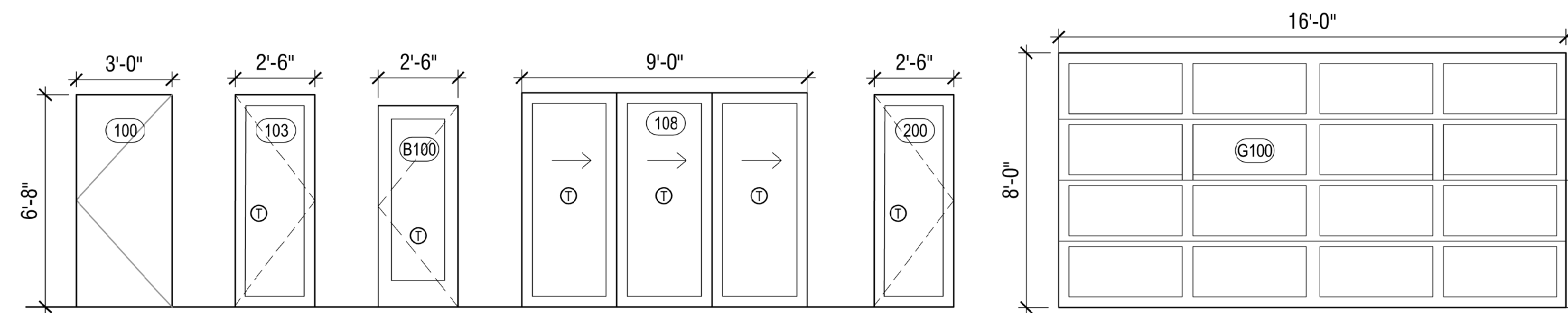
2 SECTION
SCALE: 1/8" = 1'-0"



SAFETY GLAZING

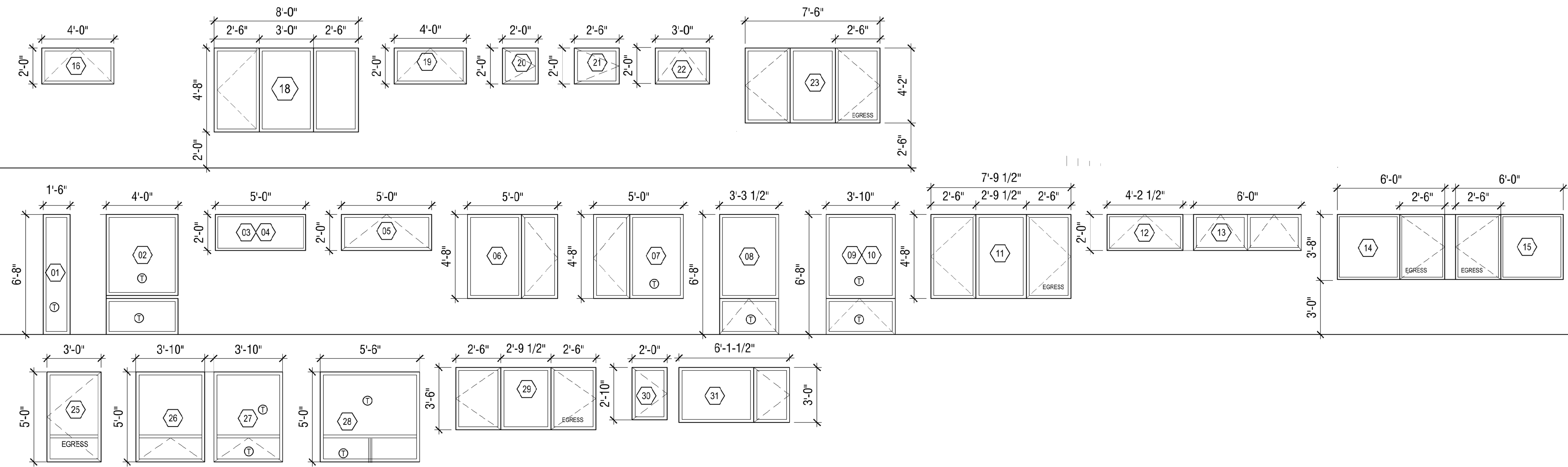
IRC SECTION R308 ALL GLASS LOCATED IN AN AREA CONSIDERED HAZARDOUS MUST BE SAFETY GLAZED:

- A. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS, EXCEPT DECORATIVE GLAZING AND GLAZED OPENINGS
- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. EXCEPTIONS: DECORATIVE GLAZING; AN INTERVENING WALL OR PERMANENT BARRIER IS BETWEEN THE DOOR AND THE GLAZING; GLAZING IS IN A WALL ON THE LATCH SIDE OF THE DOOR AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION; GLAZING ADJACENT TO A DOOR GIVING ACCESS TO A CLOSET WHICH IS LESS THAN 3' IN DEPTH SHALL COMPLY WITH C BELOW; AND GLAZING ADJACENT TO THE FIXED PANEL OF A PATIO DOOR.
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL OF THE FOLLOWING CONDITIONS:
 - I. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET. AND
 - II. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR. AND
 - III. EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR. AND
- IV. 1 OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING. EXCEPTIONS: DECORATIVE GLAZING; A RAIL AT LEAST 1½" HIGH AND CAPABLE OF WITHSTANDING A HORIZONTAL FORCE AT LEAST 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS IS INSTALLED IN FRONT OF THE GLAZING 34" TO 38" ABOVE THE WALKING SURFACE, OR OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE. ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.
- D. GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
- E. TUB, SHOWER, HOT TUB, WHIRLPOOL, SAUNA, & STEAM ROOM ENCLOSURES AND ANY GLAZING IN A BATHROOM WALL ENCLOSURE, WHERE THE BOTTOM IS LESS THAN 60" ABOVE THE WALKING SURFACE. EXCEPTION: GLAZING MORE THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A HOT TUB, WHIRLPOOL OR BATHTUB.
- F. GLAZING IN WALLS AND FENCES USED AS THE BARRIER OF INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND THE GLAZING IS WITHIN 5' OF THE WATER'S EDGE.
- G. GLAZING WITHIN 36" HORIZONTALLY OF A WALKING SURFACE AND ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WHEN THE EXPOSED SURFACE IS LESS THAN 36" ABOVE THE PLANE OF THE WALKING SURFACE. EXCEPTION: A RAIL, GUARD OR WALL IS INSTALLED MEETING CONDITIONS OF R308.4 (7).
- H. GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36 INCHES ABOVE THE NOSE OF THE TREAD. EXCEPTION: GUARDS COMPLYING WITH R312 AND THE GLASS IS MORE THAN 18" FROM THE GUARD.



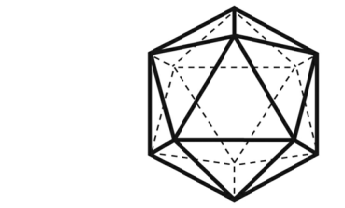
NOTE: DOOR BETWEEN LIVING SPACE AND GARAGE TO BE 20 MIN RATED OR SOLID CORE, SELF-LATCHING AND EQUIPPED WITH SELF-CLOSING OR AUTOMATIC CLOSING DEVICE.

EXTERIOR DOOR TYPES
SCALE 1/4"= 1'-0"



WINDOW TYPES
SCALE 1/4"= 1'-0"

NOTE: MIN. WINDOW/GLAZED DOOR U VALUE: 0.27, REF A0.3

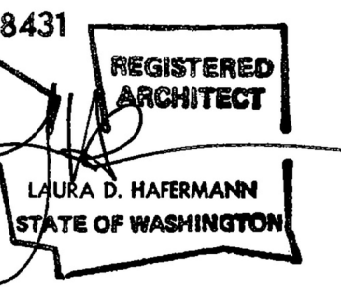


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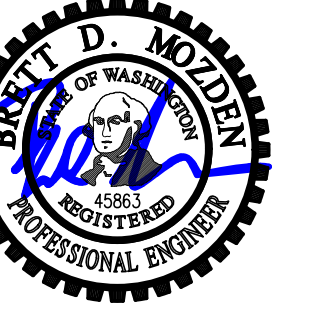
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PERMIT RESPONSE 2 11/07/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SCHEDULES

A6.0



DESIGN:	LAN
DRAWN:	NHD
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:	
DPD:	

PROJECT TITLE:
Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

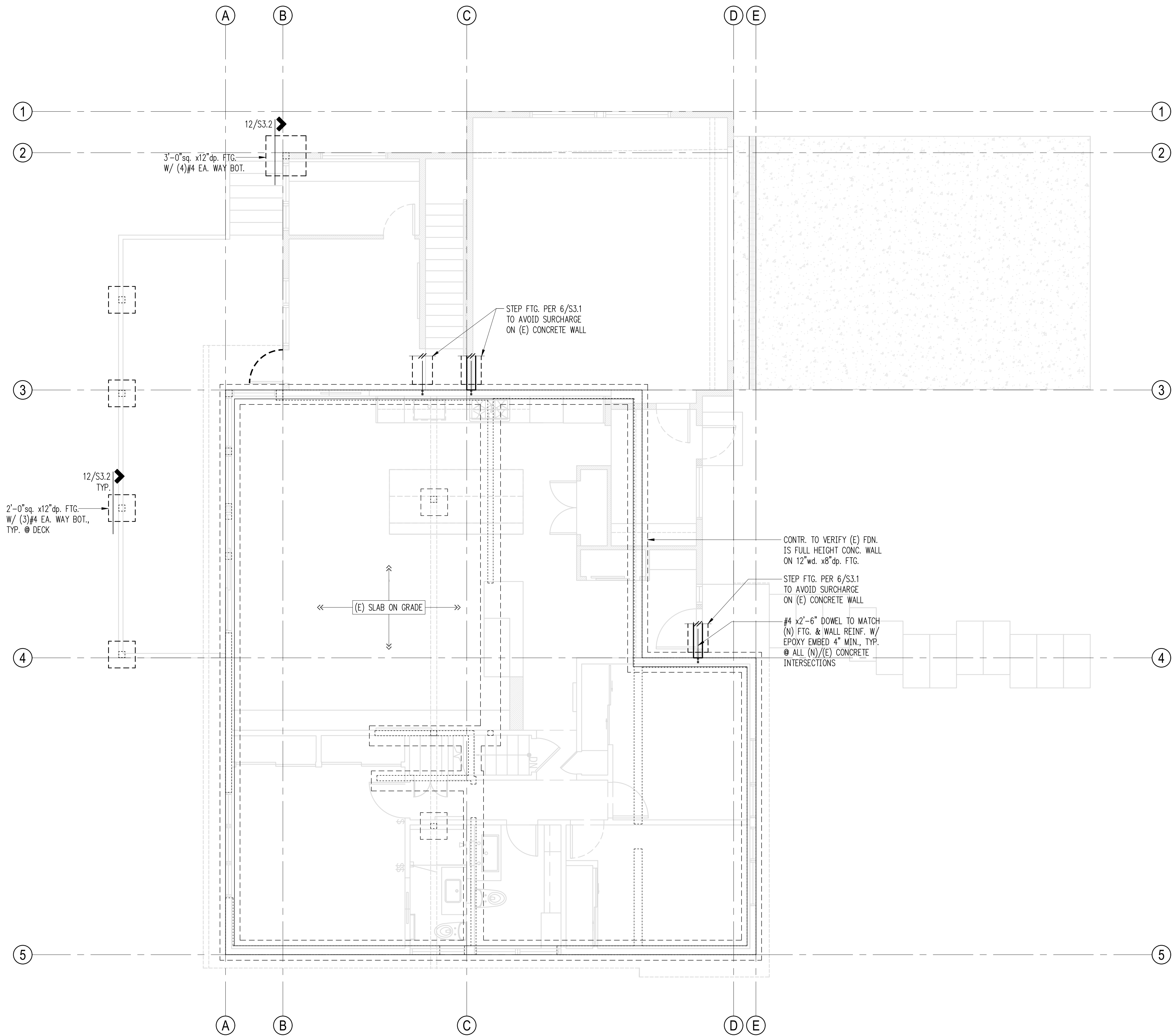
ARCHITECT:
Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Foundation Plan

SCALE:
 1/4" = 1'-0" U.N.O.
 DATE:
 May 9, 2024
 PROJECT NO:
 10213-2023-02
 SHEET NO:

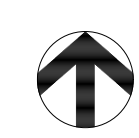
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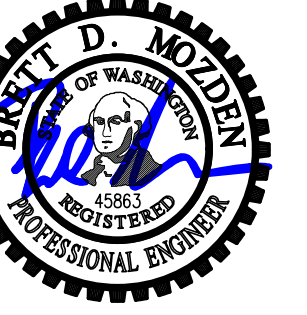


- Plan Notes**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
 - EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
 - THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
 - PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.

Legend

	NEW STRUCTURAL WALL OR POST ABOVE
	EXISTING STRUCTURAL WALL OR POST ABOVE
	NEW STEM WALL & FOOTING
	EXISTING STEM WALL & FOOTING





DESIGN: LAN
DRAWN: NHD
CHECKED: BDM
APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

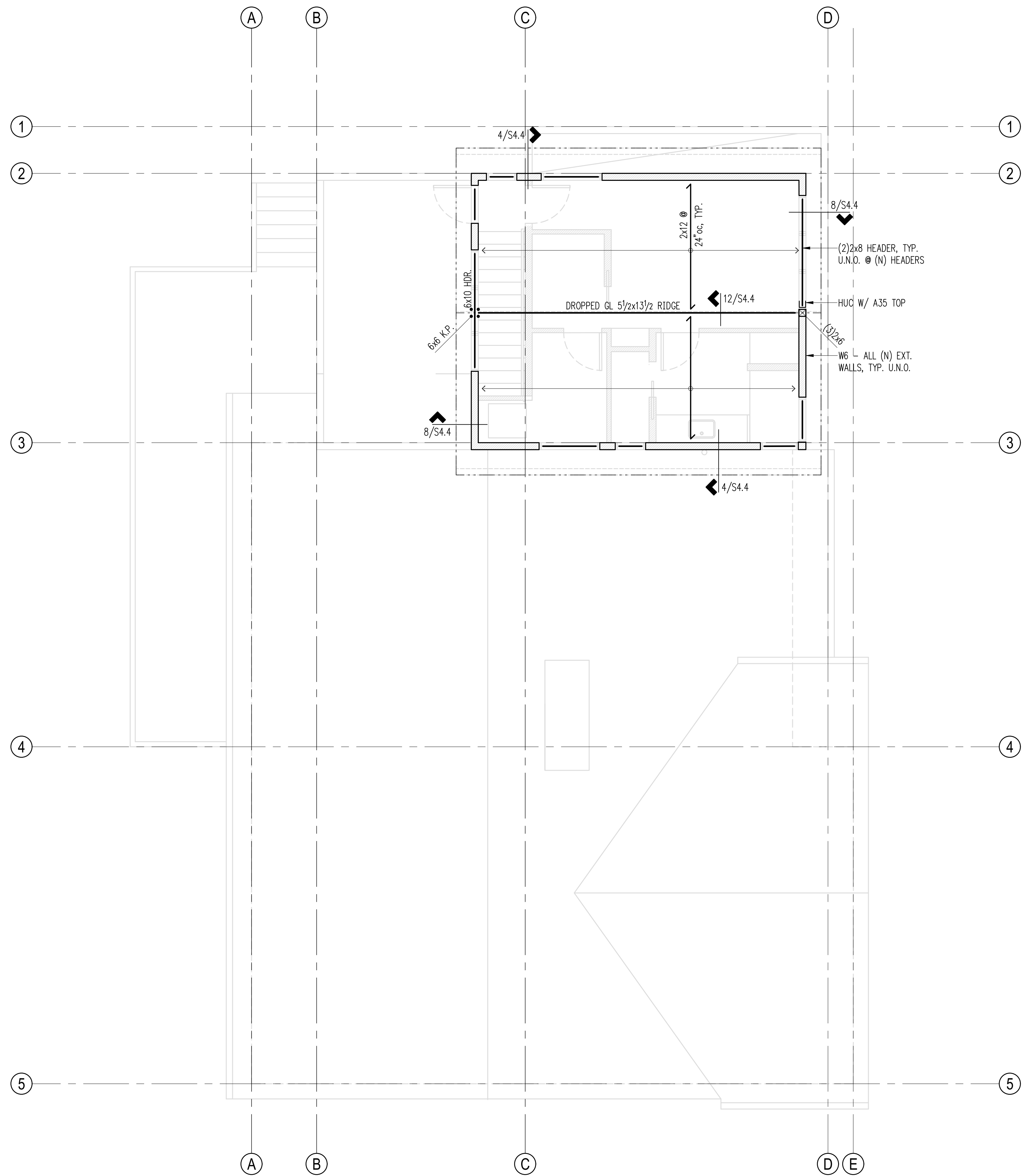
ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:

S2.4

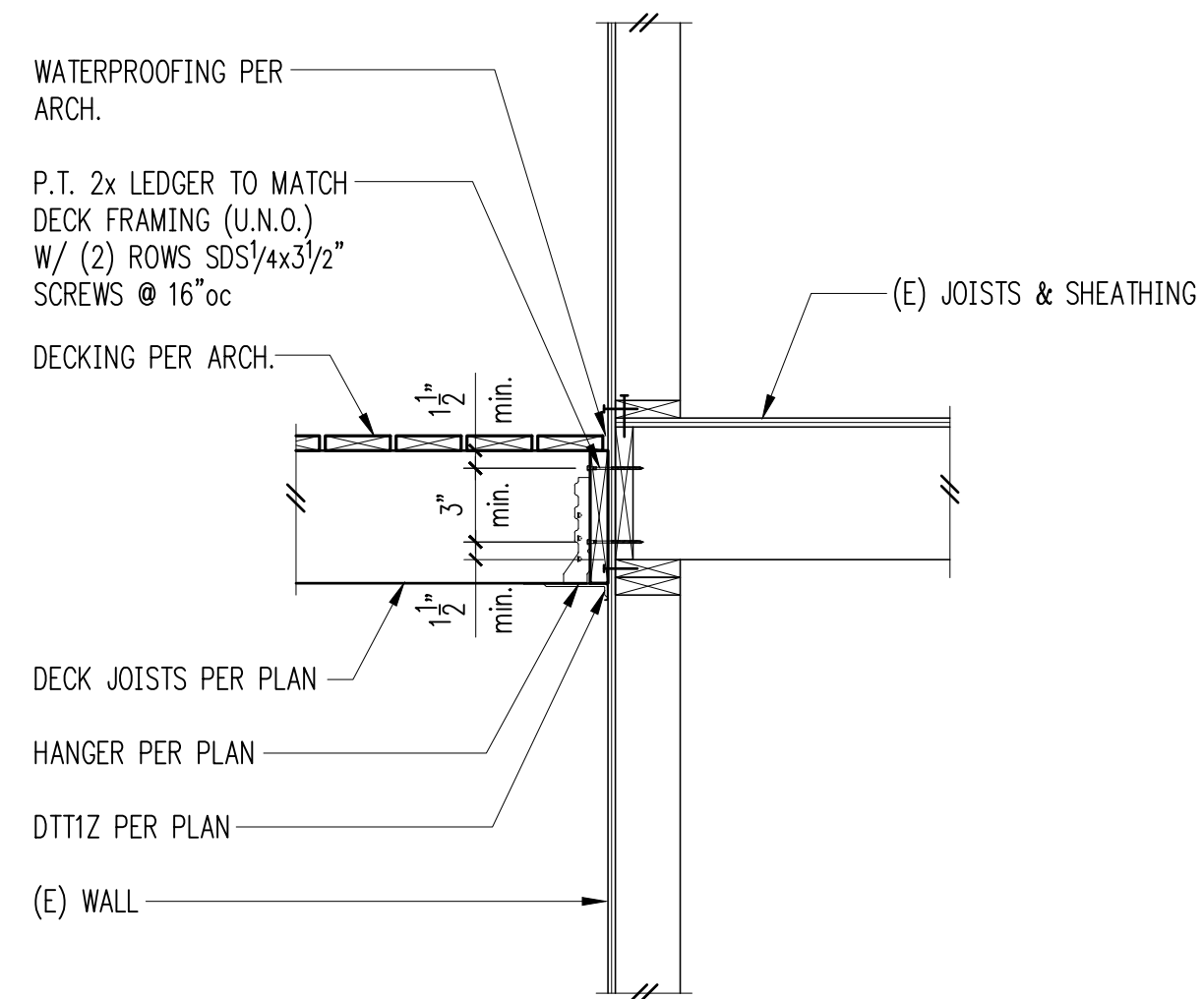


Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- PROVIDE (2) BEARING STUDS AT EACH END OF ALL NEW HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.N.O.
- PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED W/ A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF THE INSTALLED BEAMS FROM EXCEEDING 12%.
- PROVIDE H1 AT ENDS OF ALL NEW RAFTERS, U.N.O.
- "W." INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.N.O.
- TYPICAL NEW ROOF FRAMING CONSISTS OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12" O.C. FIELD.

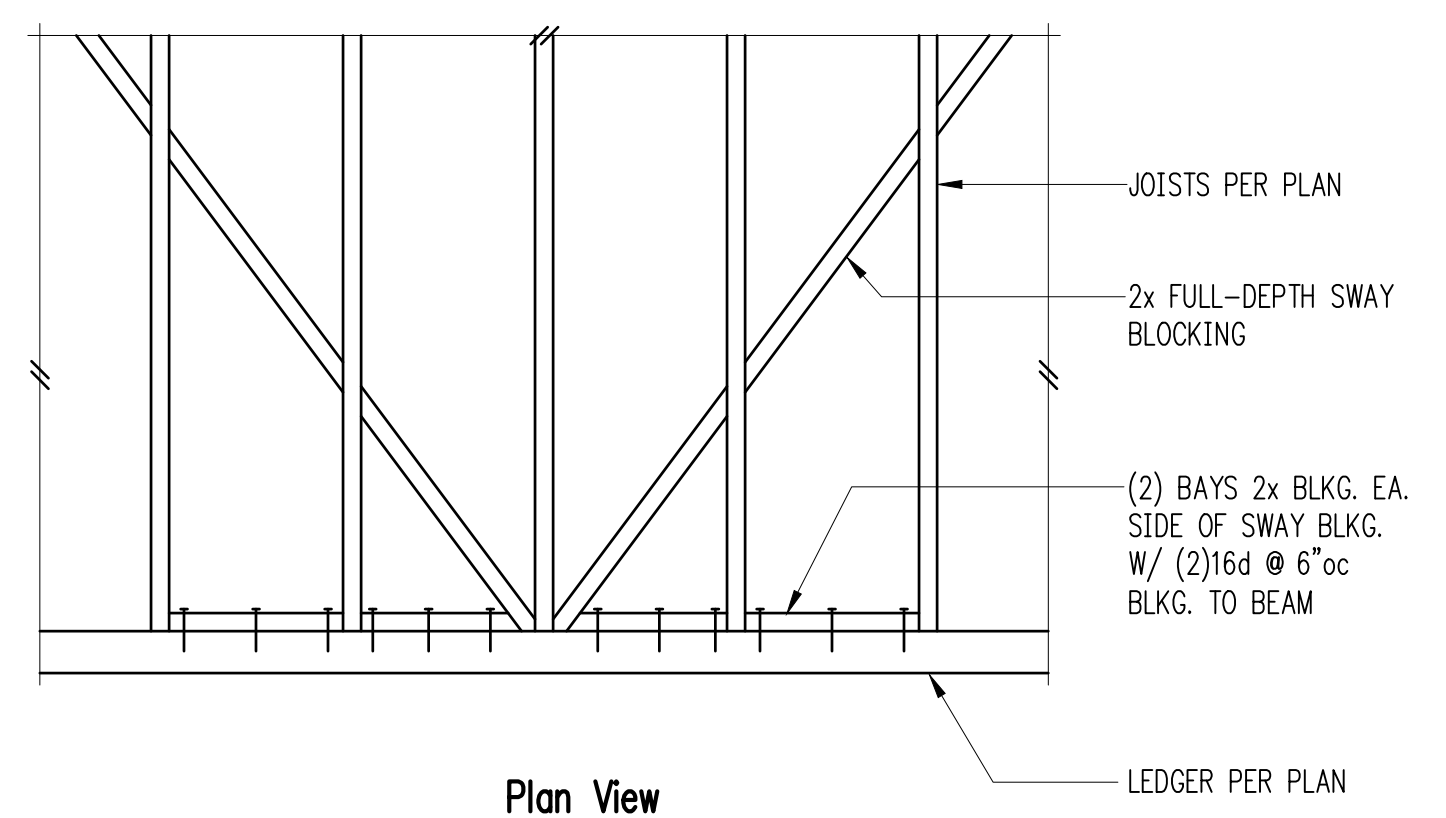
Legend

- NEW STRUCTURAL WALL OR POST BELOW
- EXISTING WALL OR POST BELOW
- NON-STRUCTURAL WALL BELOW
- SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- NEW HEADER/BEAM PER PLAN
- EXISTING HEADER/BEAM
- HANGER

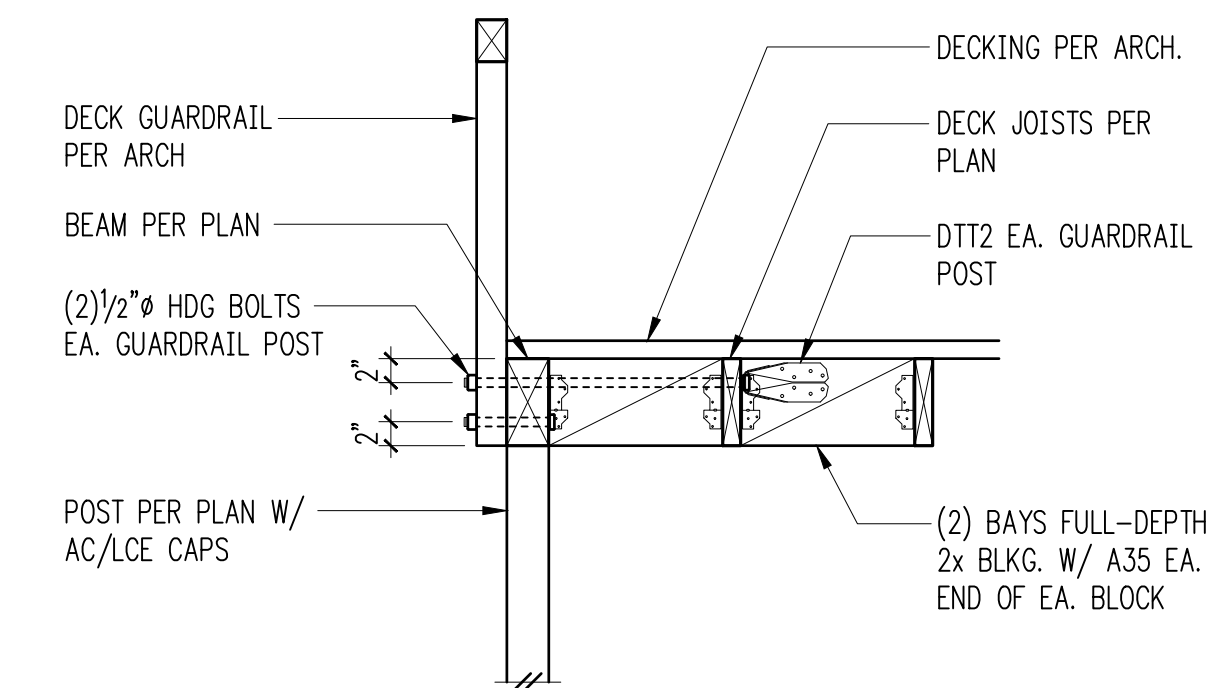


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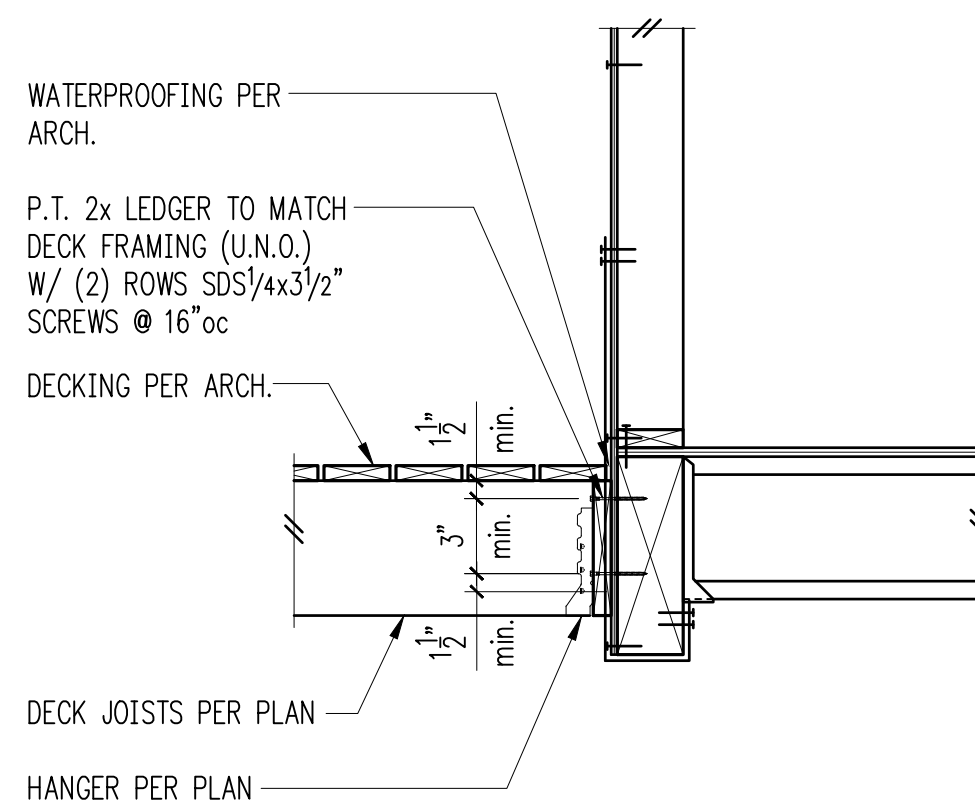
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Deck Blocking 3



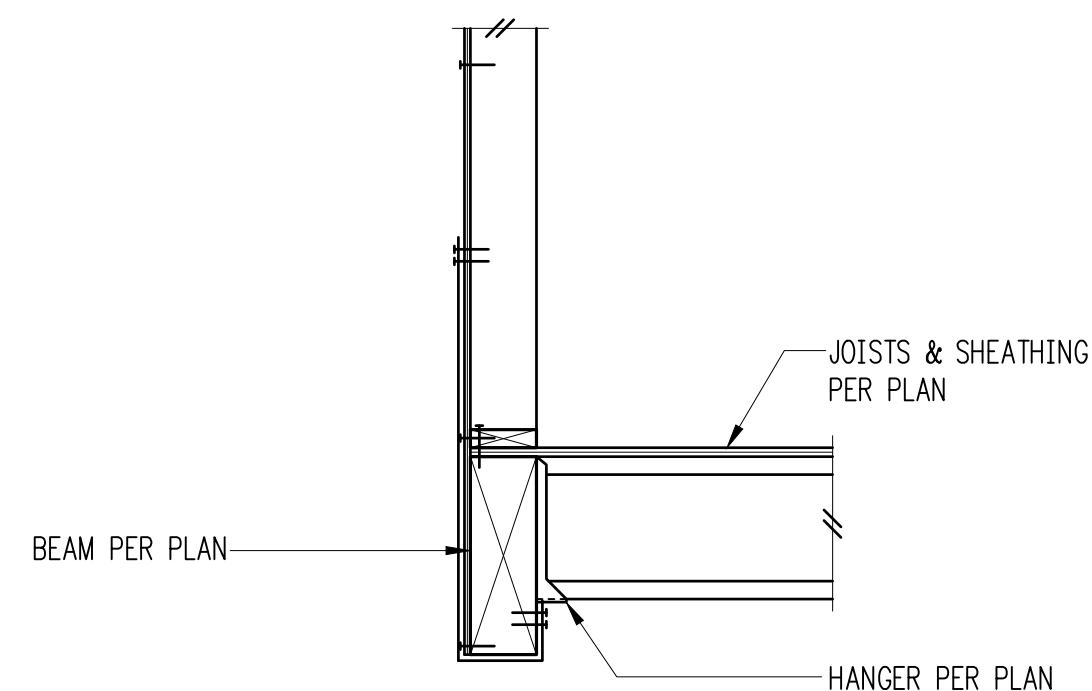
Typical Deck w/ Guardrail Detail 4



5

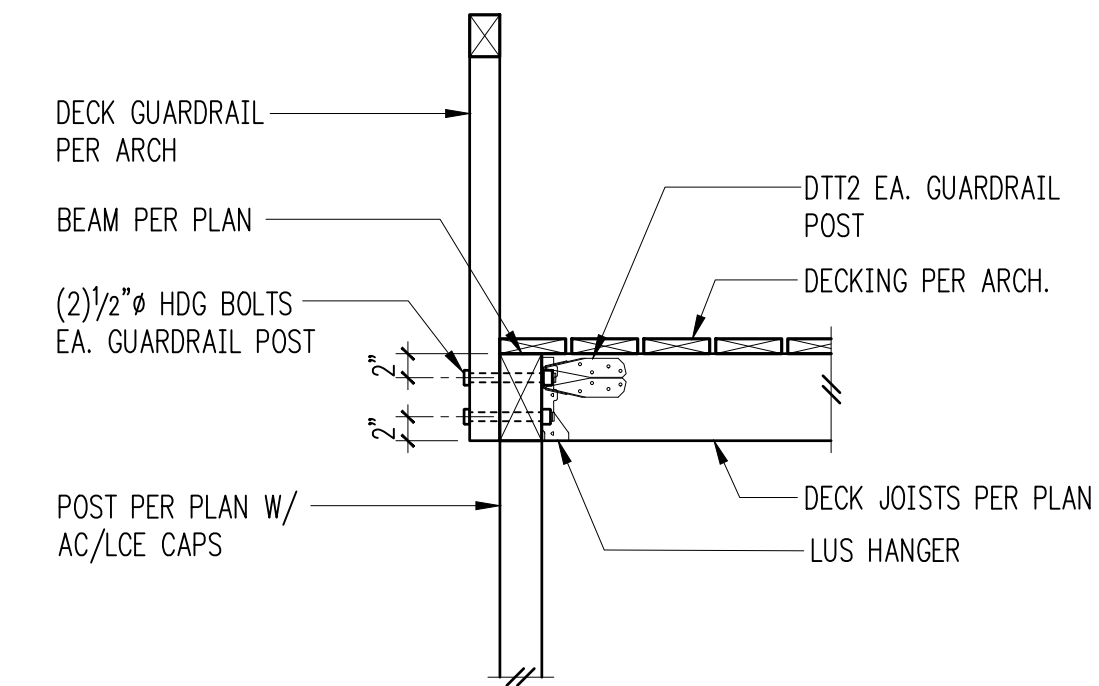
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FOR CALLOUTS IN COMMON REFER 7/S4.2

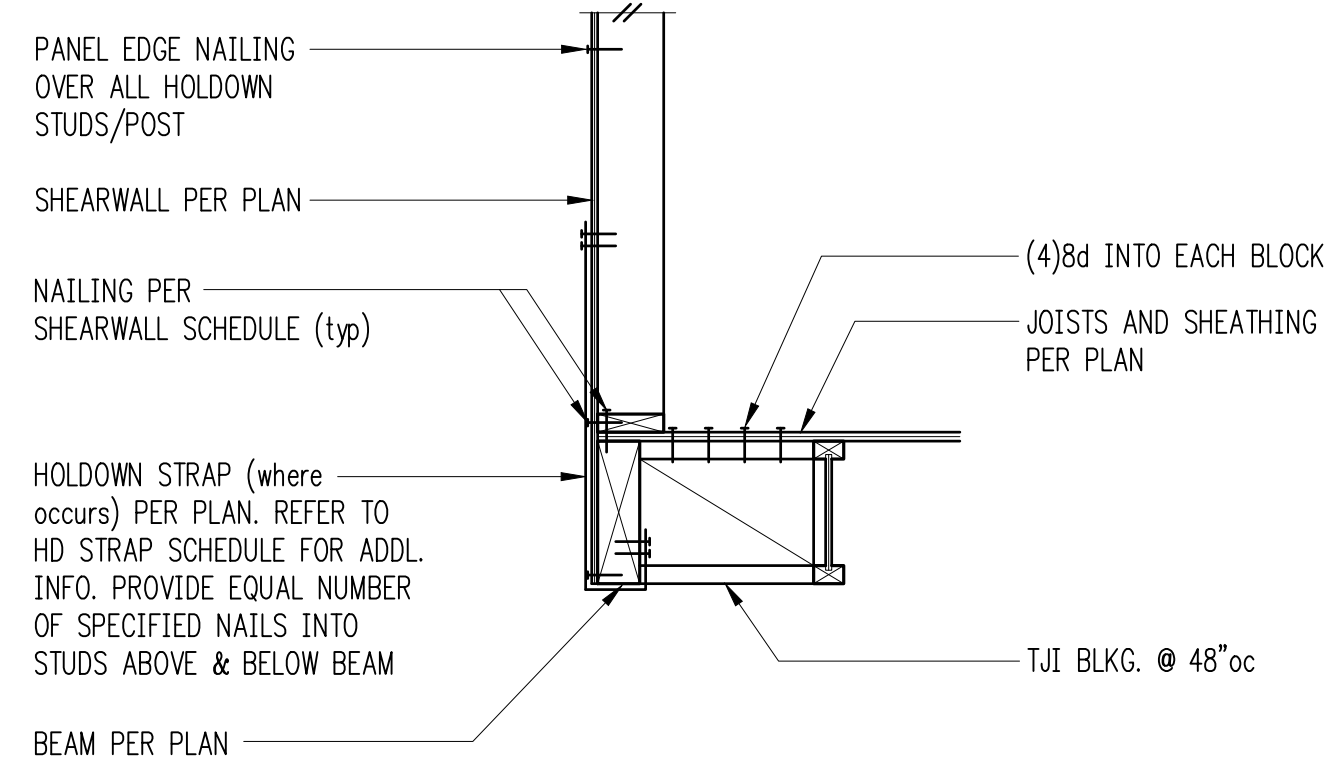


FOR CALLOUTS IN COMMON REFER 10/S4.2

7

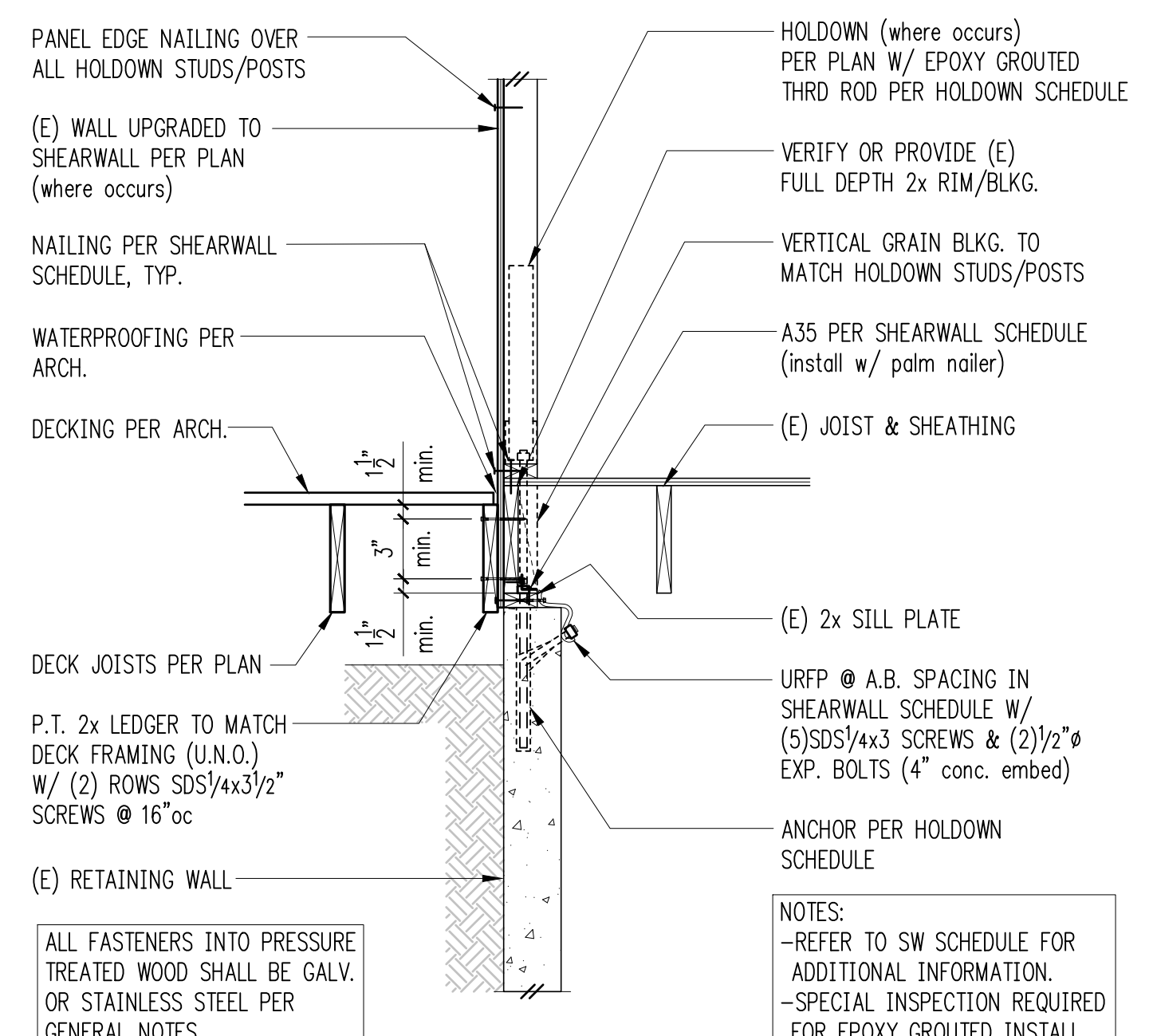


Typical Deck w/ Guardrail Detail 8

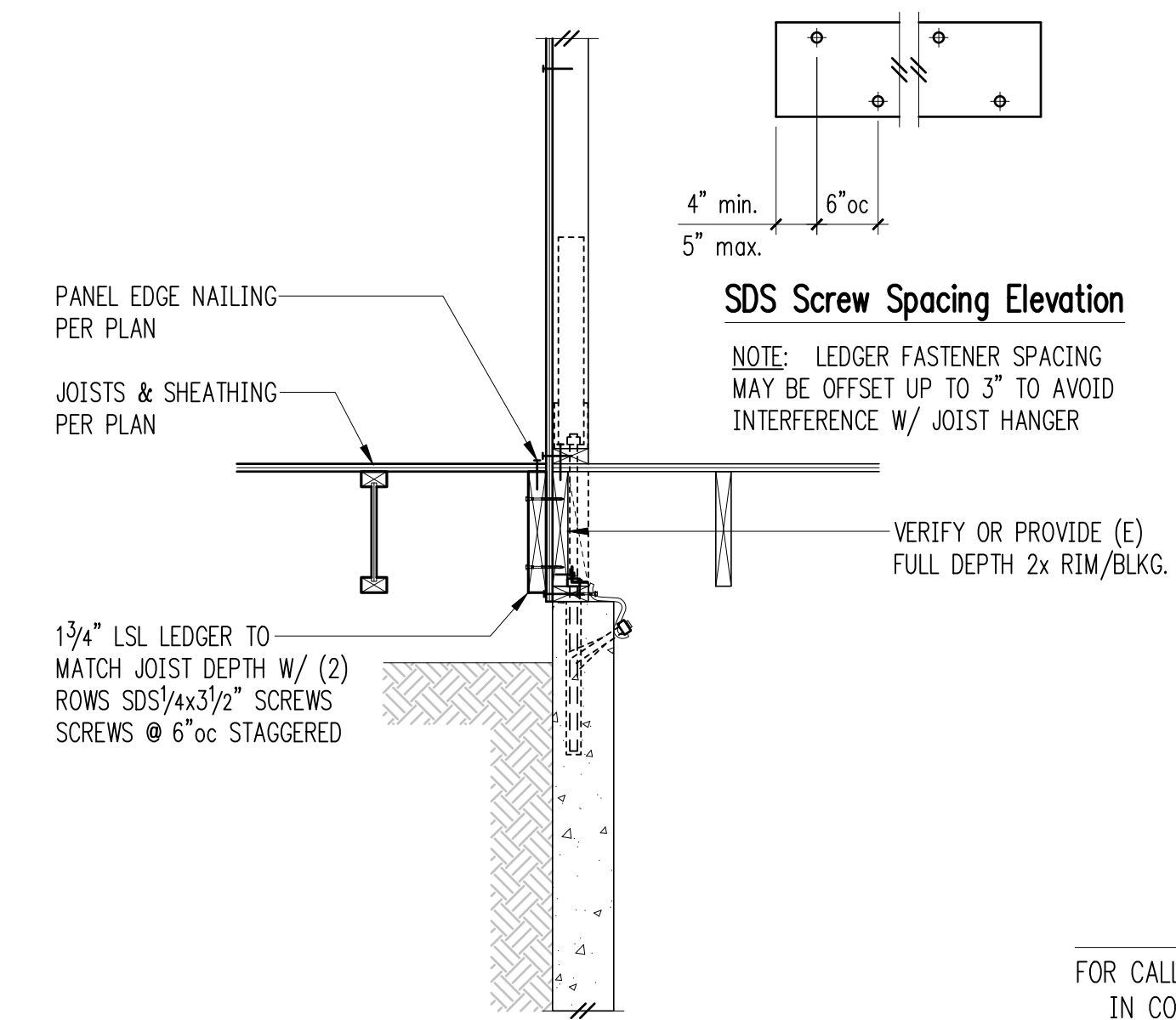


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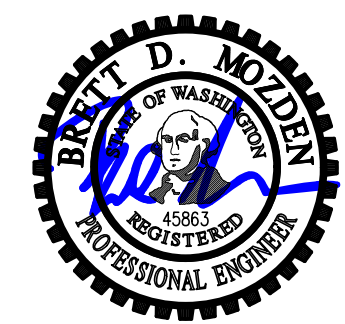


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FOR CALLOUTS IN COMMON REFER 11/S4.2

12



DESIGN:	LAN
DRAWN:	NHD
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

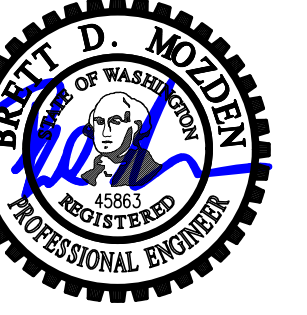
ARCHITECT:
Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
 DATE: May 9, 2024
 PROJECT NO: 10213-2023-02
 SHEET NO:

S4.2



DESIGN: LAN
 DRAWN: NHD
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

ARCHITECT:
Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:

**Wood Framing
 Details**

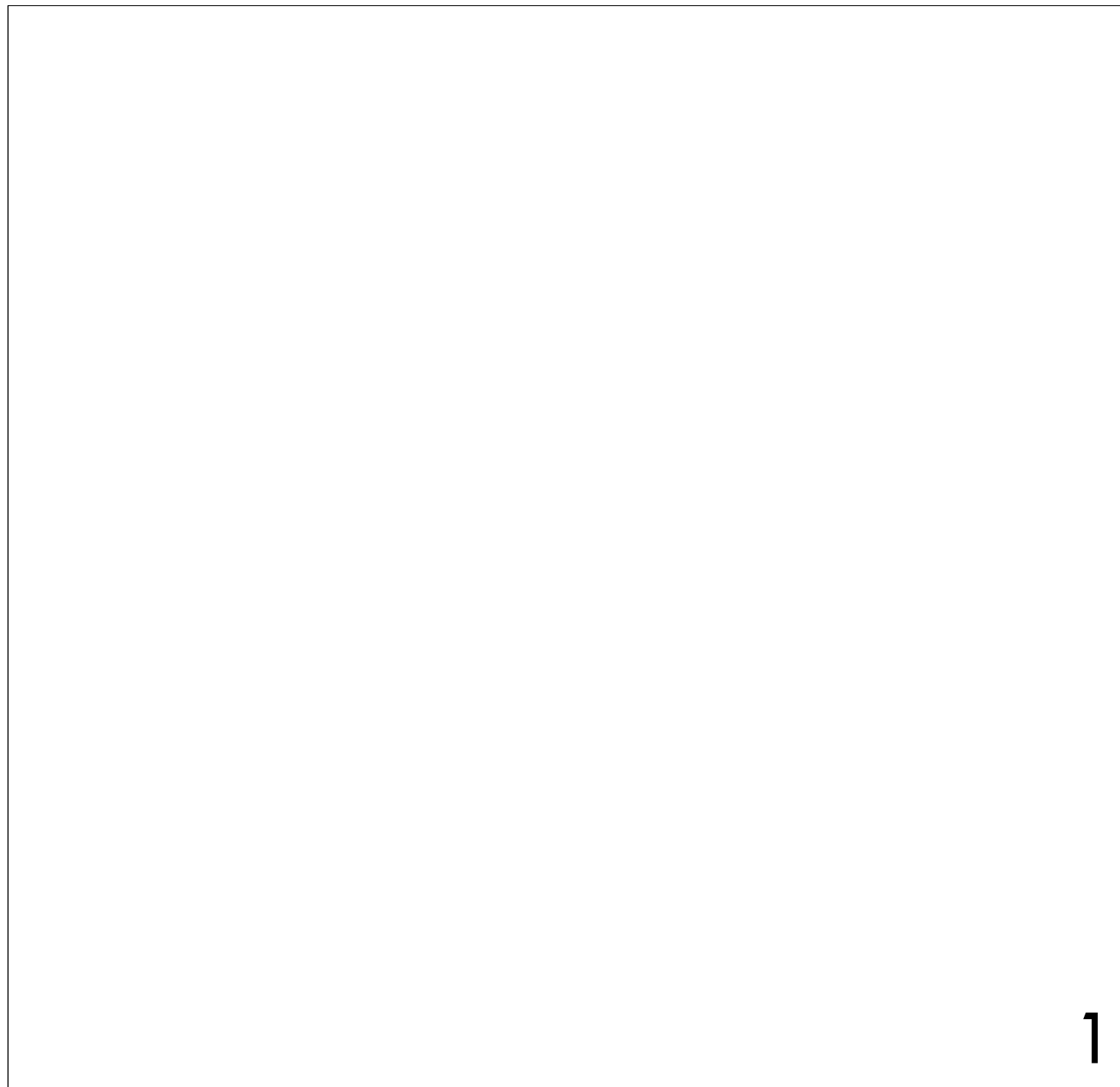
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DATE: May 9, 2024

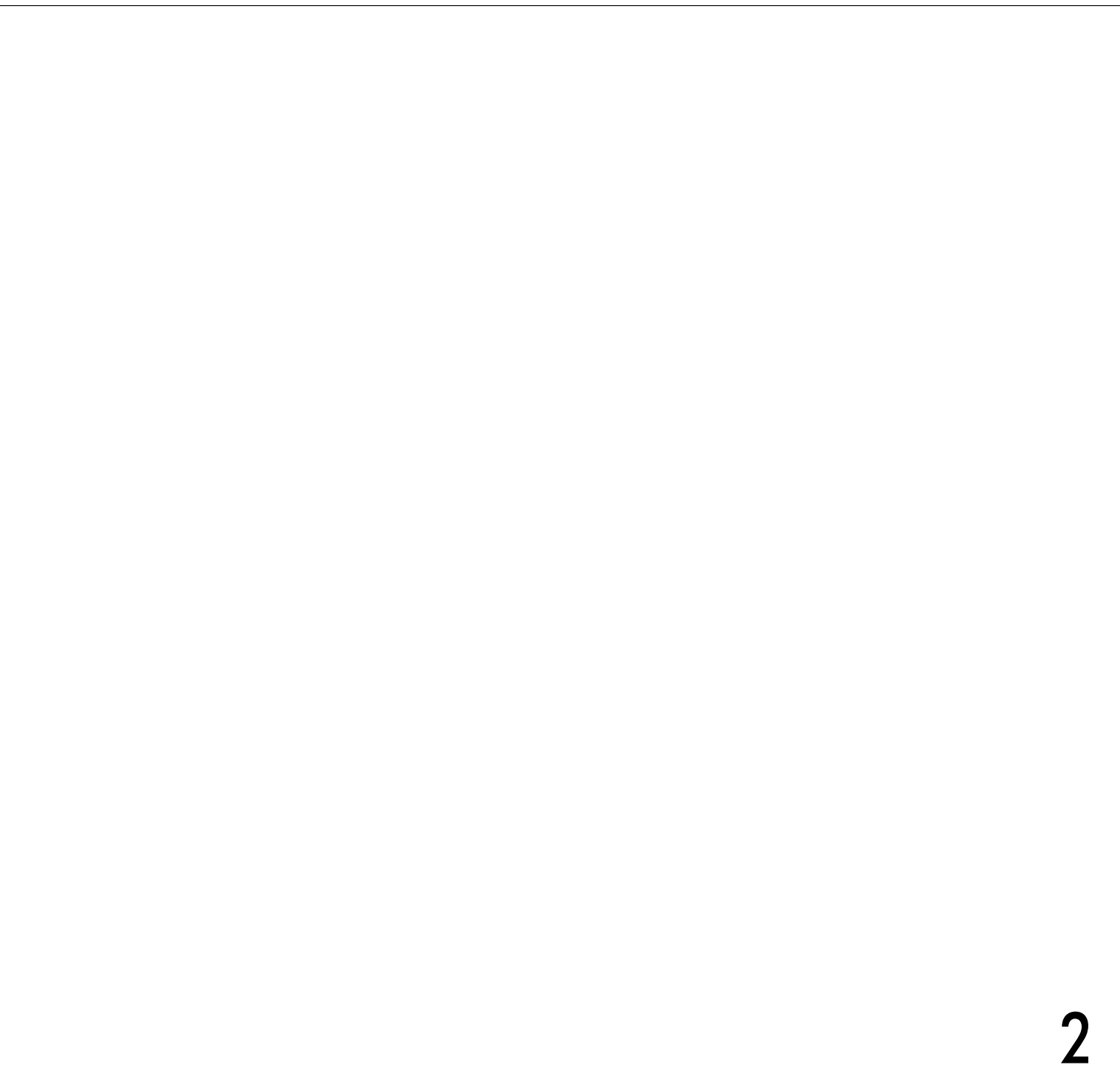
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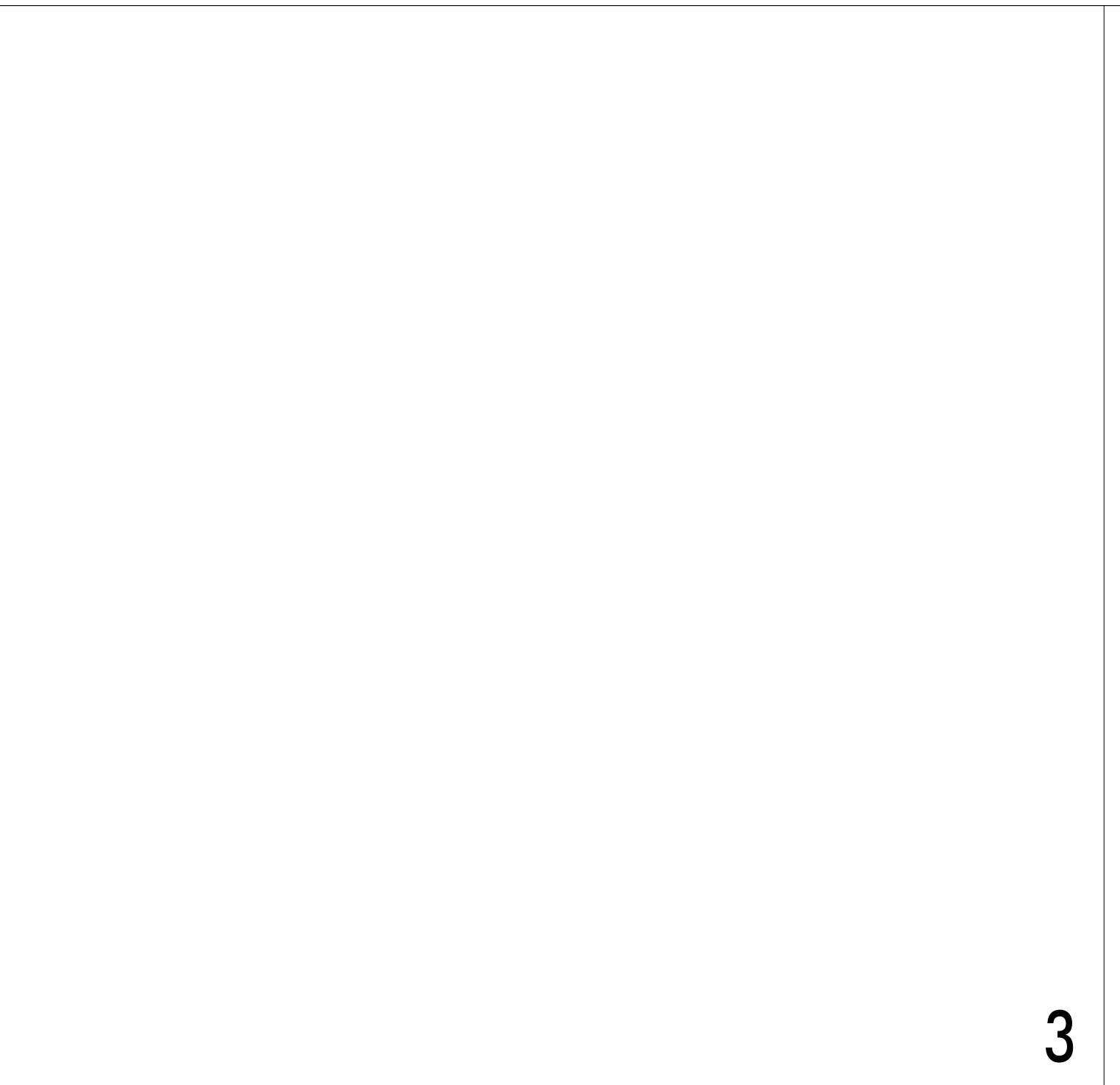
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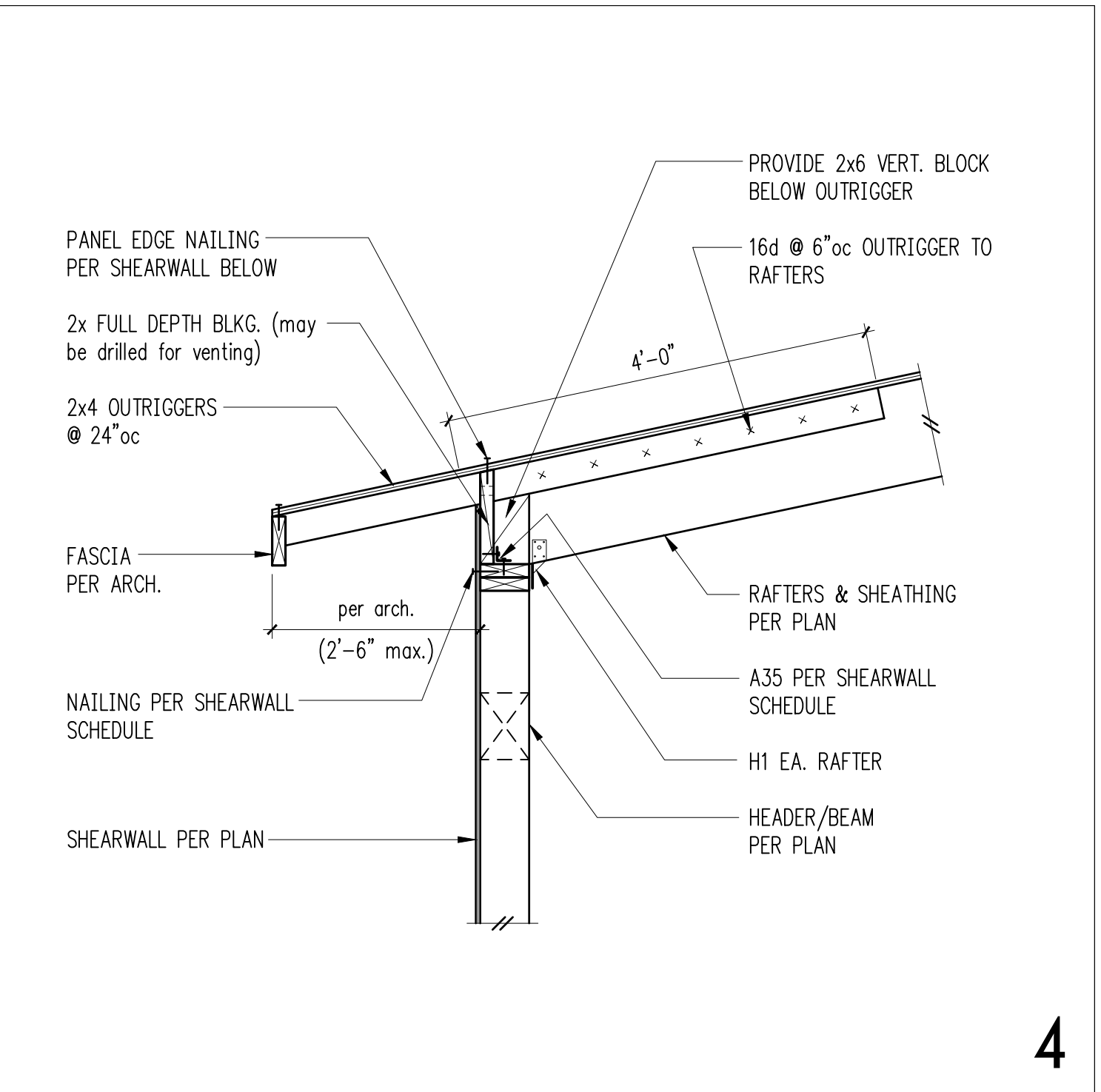
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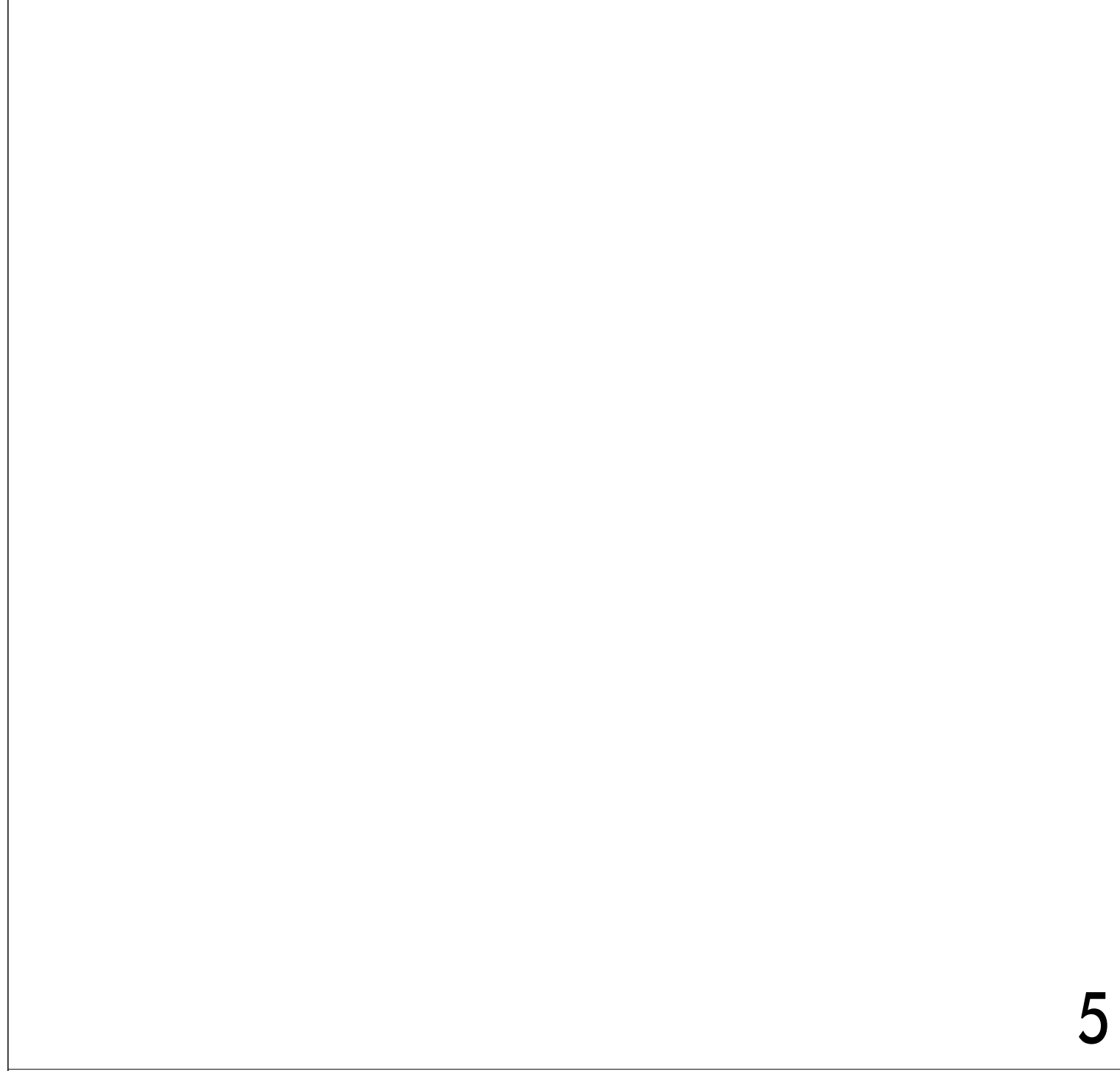
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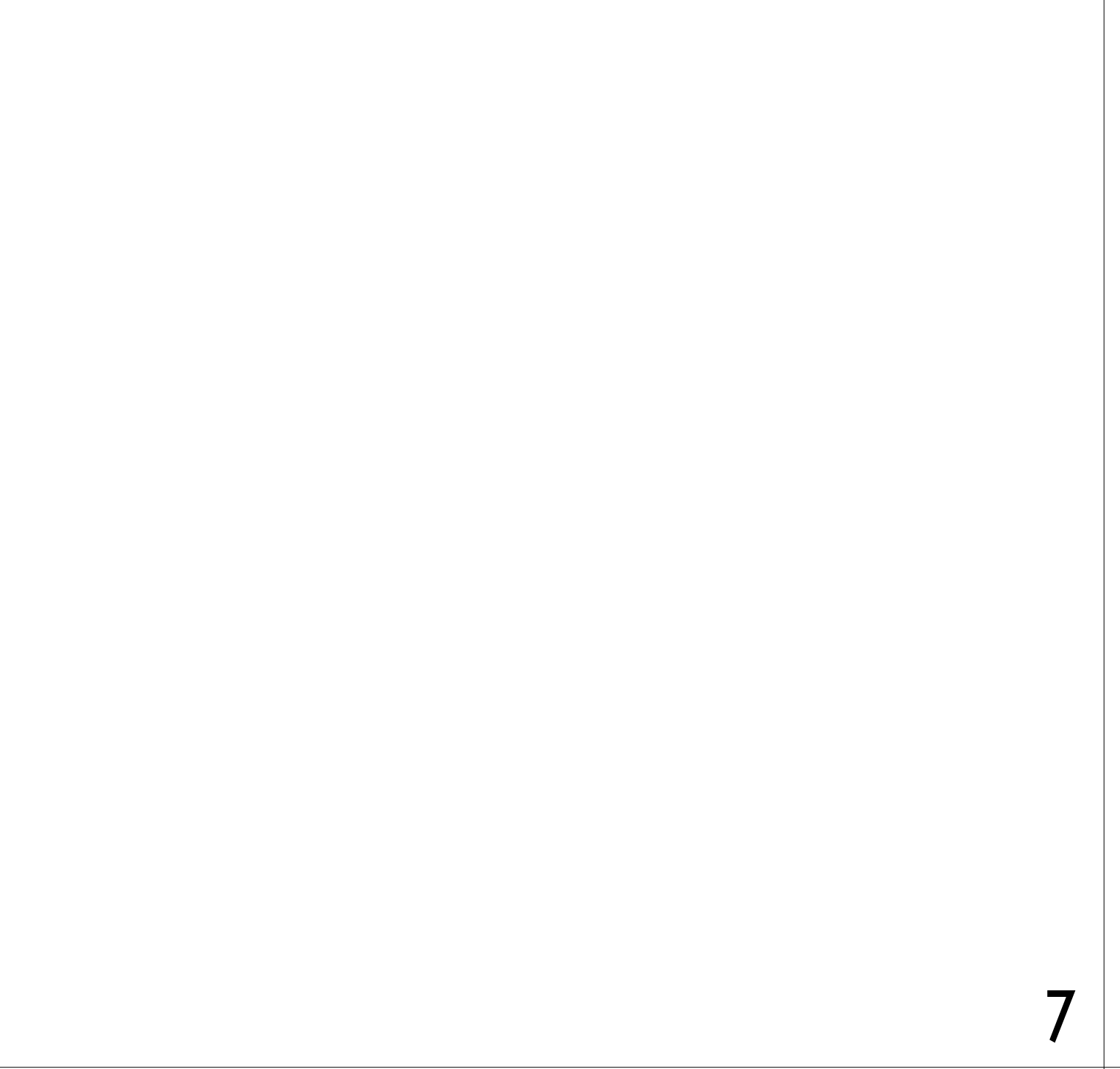
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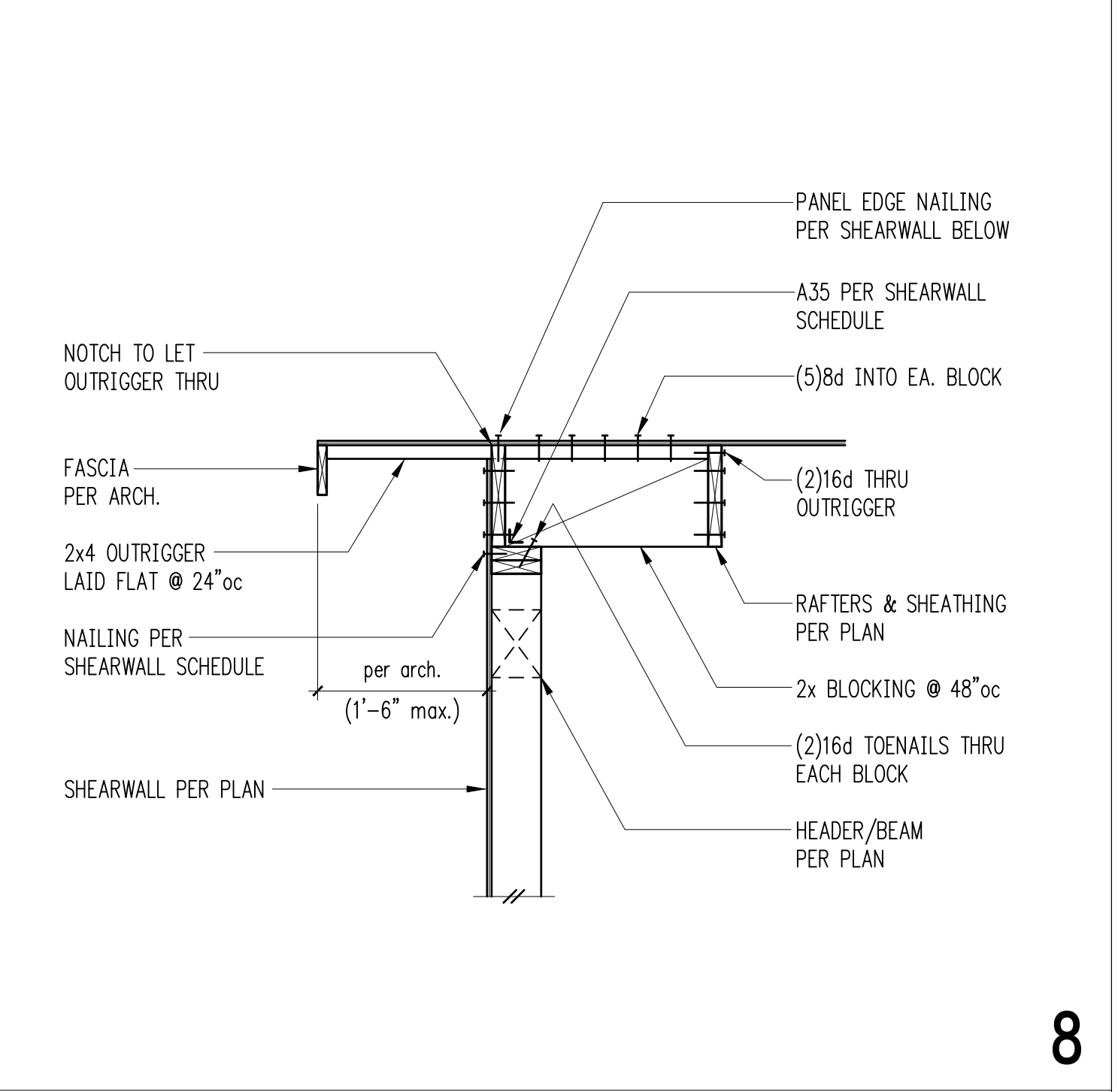
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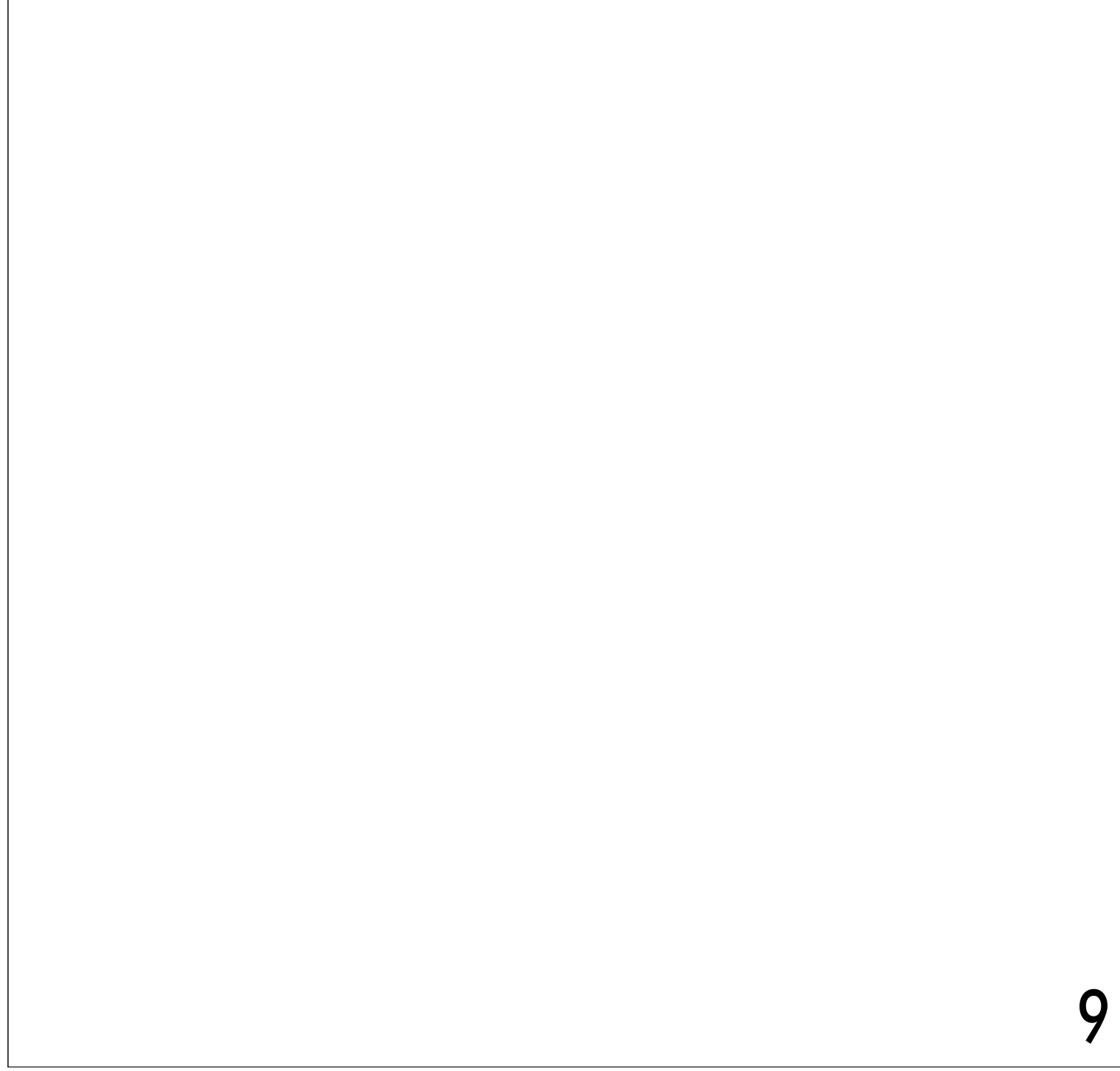
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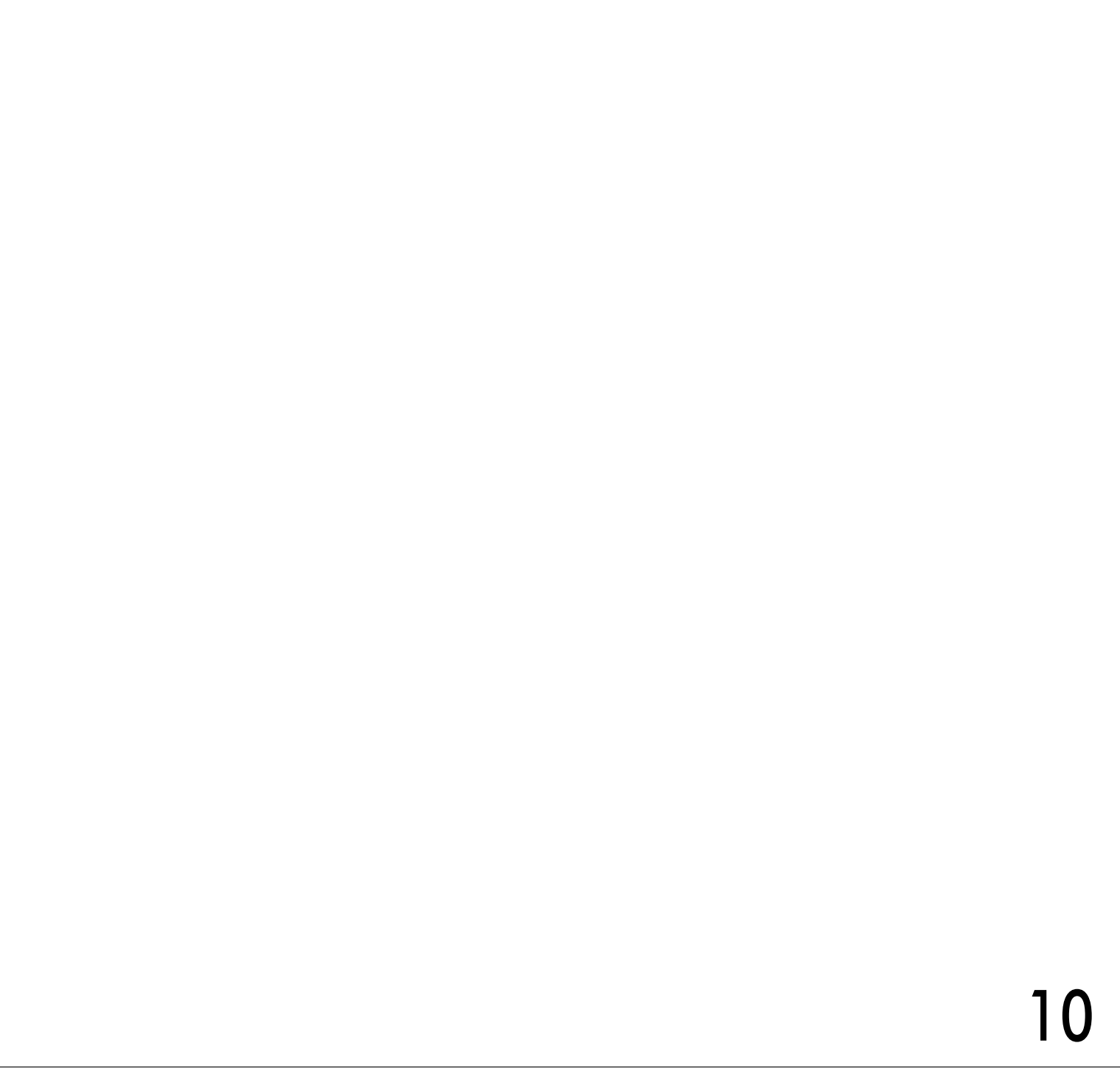
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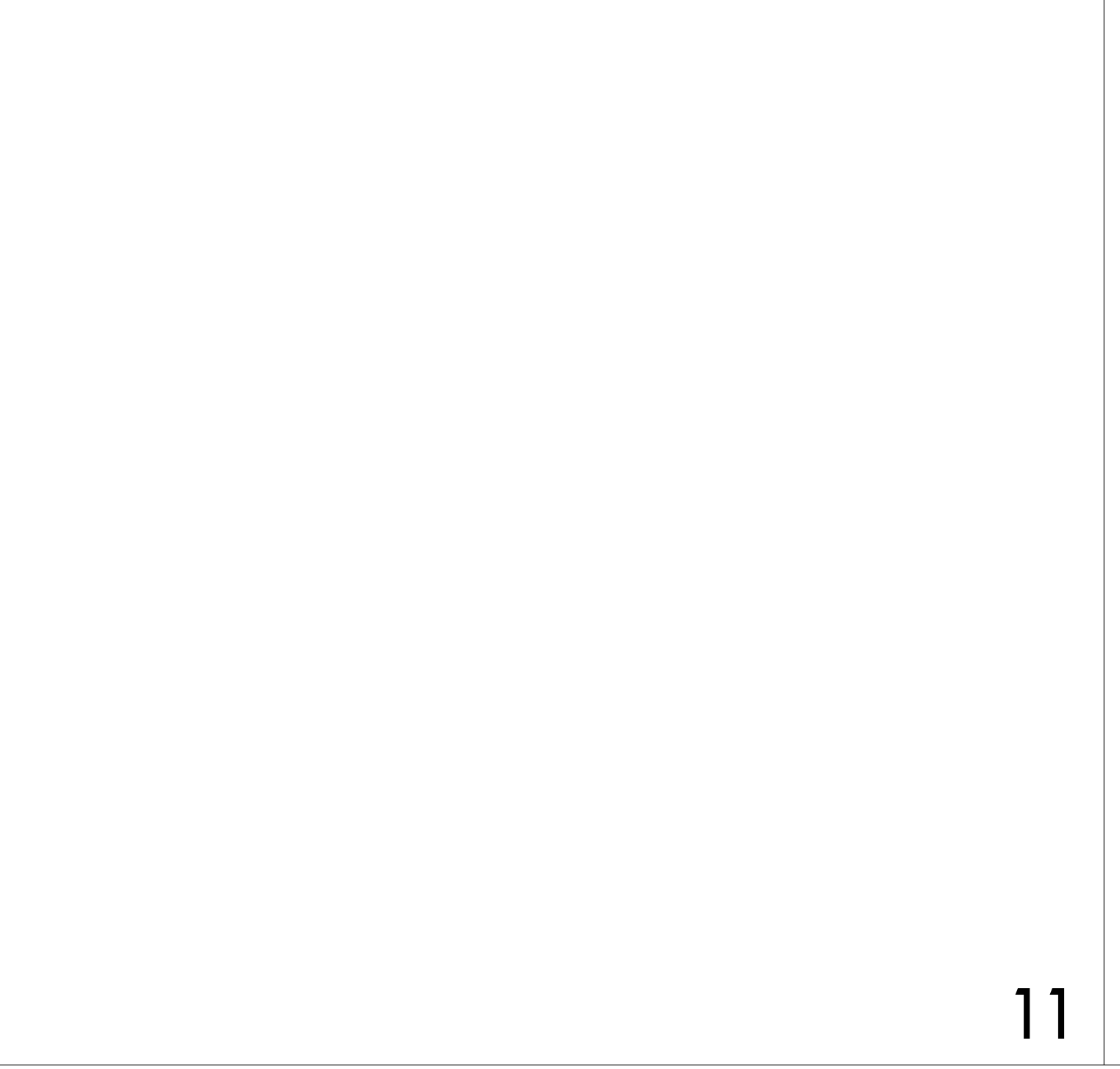
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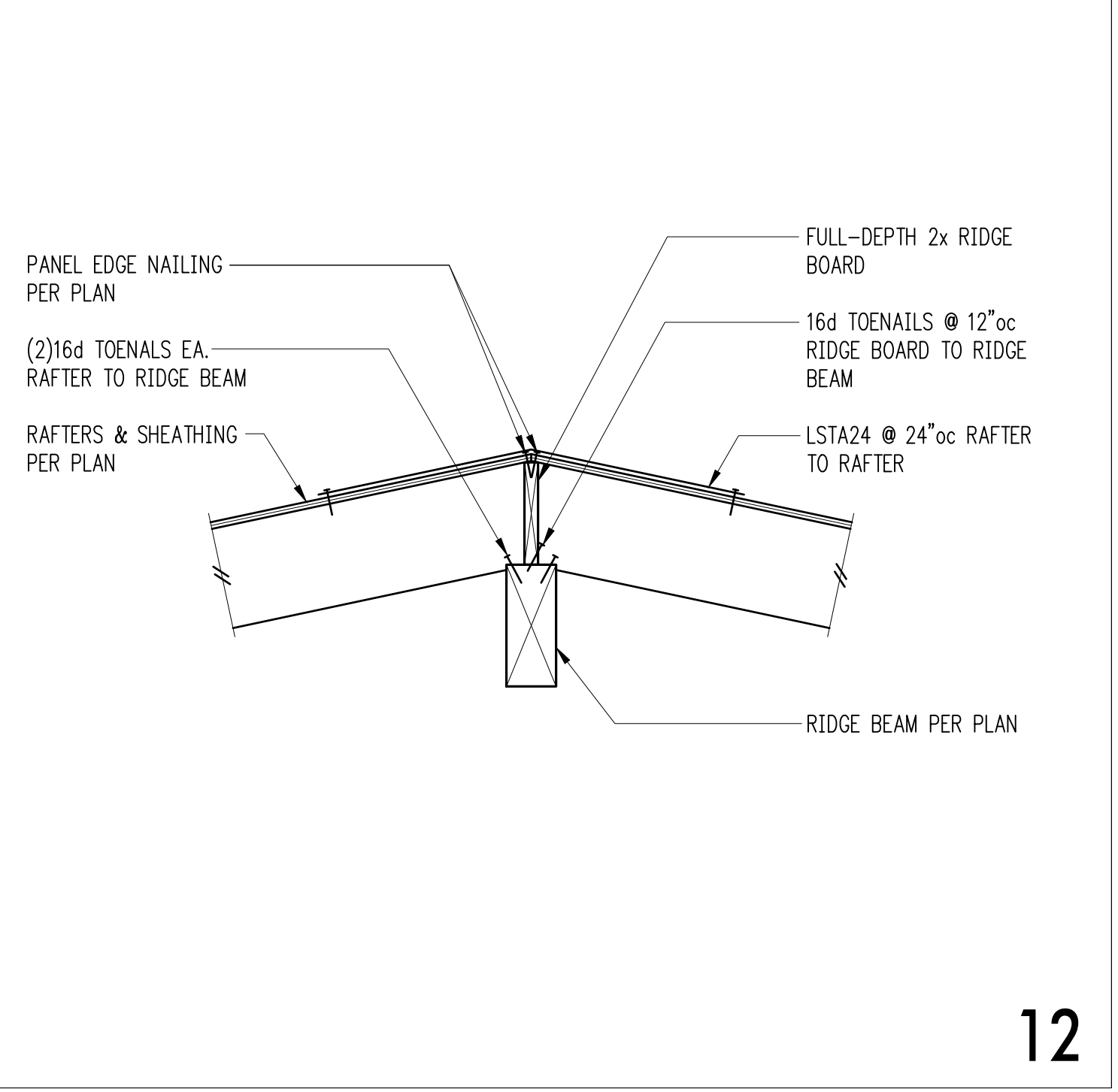
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11



12